



VILLAGE OF
OAK BROOK
Illinois

ITEM 5.B.
EXETER 711 JORIE, LLC
Variation – Parking Regulations

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1	Zoning Regulations – Off Street Parking Regulations – 13-12-3H and 13-12-3H.2

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O	Existing Topography Conditions dated August 2, 2018 (Included not attached)
P	Exterior Elevation Plans dated November 5, 2018 (Included not attached)
Q	Plat of Survey dated August 17, 2017 (Included not attached)
R	Landscape Plans Revisions dated May 1, 2019 (Included not attached)

VILLAGE OF OAK BROOK
Zoning Board of Appeals

STAFF REPORT

DATE: May 2, 2019

CASE NO: 2019-05-ZO-VAR

DESCRIPTION: Variations – to permit the construction of parking spaces in a required yard along 22nd Street and Jorie.

PETITIONER: Exeter 711 Jorie, LLC
101 W. Elm Street
Conshohocken, PA 19428

ADDRESS: 711 Jorie Blvd &
Nicor vacant parcel (north of 711 Jorie Blvd.)

EXISTING ZONING: ORA-1, Office-Research-Assembly District

DISCUSSION:

Exeter 711 Jorie, LLC, owner of 711 Jorie Blvd. has submitted a petition seeking approval of several variations in order to increase the number of parking spaces along the north and east frontages of the building located at 2122 York Road. In addition, the petitioner has the approval from Nicor to seek the variations for parking spaces on the Nicor parcel along 22nd Street.

Specifically, the applicant is seeking the variations in order to accommodate the construction of an additional 137 parking spaces to serve the needs and demands of office tenants. At present, the site contains 615 parking spaces (as shown on the ALTA). If granted, the proposal will provide a total of 752 spaces. The proposed parking lot would exceed the minimum required parking standards for office space in the ORA-1 District. The applicant is seeking variations from Sections 13-12-3H and 13-12-3H.2 in order to accommodate the construction of the additional parking spaces.

The variation from Section 13-12-3H would permit a reduction in the required setback to a zero lot line for both parcels. A variation from Section 13-12-3H.2 would allow more than six spaces within the front yard or along the side of the building adjoining the street on 22nd Street and Jorie Blvd.

Please see the materials provided by the petitioner in the case file for a more detailed description of this request.

**STAFF REPORT - Exeter 711 Jorie, LLC
VARIATIONS – 711 JORIE BLVD.
CASE NO. 2019-05-ZO-VAR**

Staff Comments:

- In the last 18 years, the Village has approved several similar requests to permit more than 6 spaces in the required front yard (i.e. 790 Jorie Blvd, 814 Commerce; 1818, 2020, and 2021 Swift Drive; 2122 York; 210, 600, 1415, and 1515 22nd Street). This is representative of a changing dynamic in office real estate, which demands a higher parking density. Staff recently completed an analysis of the appropriate parking ratio for office space and observed several factors, which are applicable when determining the ratio. The factors that appear to dictate parking include geography, parking structure vs. surface parking, existing vs. new construction, and an individual community's preferences. The ratio in the Chicagoland area range from three to five spaces per 1,000 sq. ft. of office space. The applicant also retained KLOA to perform a parking study (see case file).
- The applicant is proposing landscape screening/buffer along the frontage of the new parking areas (see the case file). Staff notes that the landscaping should continue along the entire perimeter of the parking area (including the eastern portion of the lot). The current landscaping plan does not comply, as the standard is four-foot screening at time of installation. Staff suggests additions to the landscaping plan to comply (i.e. a landscaping berm or 5 six-foot-tall salt tolerant evergreen trees).
- Parking lot islands are also required every 15 spaces, the plans should be amended to show three additional islands. The landscaping will be required to comply with Section 13-12-4 and will be reviewed for compliance as part of the building permit submittal.
- The Village's consulting engineer has reviewed the proposed improvements and provided a memo included within the case file.
- The proposed curb cut on 22nd Street is also subject to review and approval by the Illinois Department of Transportation, which is the authority with jurisdiction.
- The applicant has provided information regarding the proposed light standards. A photometric plan will be required as part of the building permit application.

RESPONSIBILITIES OF HEARING BODIES:

The Zoning Board of Appeals has the responsibility to make a recommendation on a request for a variation. Please include in your consideration your findings with respect to the standards specified in the Zoning Ordinance for a variation. The materials submitted by the applicant specifically address these standards (see the case file). Those standards are:

“Section 13-14-6 D. Standards:

STAFF REPORT - Exeter 711 Jorie, LLC
VARIATIONS – 711 JORIE BLVD.
CASE NO. 2019-05-ZO-VAR

1. The Zoning Board of Appeals shall not recommend a variation of the provisions of this Title as authorized in this Section unless it shall have made findings of fact based upon the evidence presented to it on the following specific issues that:

- a. The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.
- b. The plight of the owner is due to unique circumstances.
- c. The variation, if granted, will not alter the essential character of the locality.

2. For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making the determination whether there are practical difficulties or particular hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence that:

- a. The particular physical surroundings, shape, or topographical conditions of the specific property involved would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the strict letter of the regulation were to be carried out.
- b. The condition upon which the petition for variation is based would not be applicable generally to the other property within the same zoning classification.
- c. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.
- d. The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.
- e. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.
- f. That the alleged difficulty or hardship has not been created by any person presently having an interest in the property.”

CONCLUSION:

If the Zoning Board of Appeals is of the opinion that the applicant has satisfied the requirements for the requested variations to the Zoning Ordinance for the property located at 711 Jorie Blvd, a recommendation including specific reasons for its recommendation to approve the requested variations as follows:

- Section 13-12-3H – Variation to permit a reduction in the required setback to a zero lot line for both parcels.

STAFF REPORT - Exeter 711 Jorie, LLC
VARIATIONS – 711 JORIE BLVD.
CASE NO. 2019-05-ZO-VAR

- Section 13-12-3H.2 – Variation to allow more than six spaces within the front yard or along the side of the building adjoining the street, on 22nd Street and Jorie Blvd.

Subject to the following conditions:

1. The proposed parking lot addition shall be constructed in substantial conformance to the approved plans as submitted.
2. Applicant shall provide a firm commitment for the installation/replacement and maintenance of all landscaping improvements.
3. Applicant will provide the IDOT review and approval of the curb cut at time building permit application.
4. Add the condition “Notwithstanding the attached exhibits, the applicant shall meet all Village Ordinance requirements at the time of building permit application except as specifically varied or waived.”

However, if you determine that the petitioner has not satisfied the required standards for a variation, the request should be denied and including specific reasons for its recommendation to deny the requested variations.

Respectfully Submitted,



Rebecca G. Von Drasek
Village Planner



Interoffice Memorandum

DATE: April 26, 2019
TO: Tony Budzikowski, Director of Development Services
FROM: James Patterson, P.E., Consulting Engineer (Burns & McDonnell) *JP*
SUBJECT: 711 Jorie Boulevard – Zoning Variation Request – Preliminary Engineering Review

Burns & McDonnell received the following documents for preliminary review on April 16, 2019:

- Site Improvement Plans, 15 sheets, prepared by SPACECO dated April 11, 2019.

Preliminary comments were originally issued to the applicant on March 27, 2019. Revisions have been made and a second preliminary review has been completed. Please consider the following comments:

Stormwater Management

Engineering plans have not been submitted for permit. A Stormwater Management Certification will be required for compliance with floodplain, wetland/buffer, and Post Construction Best Management Practice regulations. At this time, it does not appear that detention will be required.

Access

There is an existing pedestrian path to be removed, which cuts through two berms on the Nicor property along the north property line of the 711 Jorie Boulevard. The applicant is proposing to construct a new vehicular access point on 22nd Street approximately 475-feet east of Jorie Boulevard. The driveway will require an IDOT permit. As of the IDOT review letter dated September 7, 2018, it does not appear there are any major comments that would obstruct IDOT approval of the driveway.

Easement

The driveway, parking lot, and retaining wall are all located on Nicor property. Written consent from Nicor will be required as well as easements for access and parking.

Land Improvements

Improvements to the parking lot, including lighting, utilities, etc. will reviewed for compliance with the Village Code. Prior to permit issuance, a financial security will be required to ensure completion of the improvements.

Other Requirements

Nicor owns an existing 30-inch gas main that the new driveway access would be constructed over. The Village will require the applicant to provide all Nicor-required protection for the gas main.

Recommendation

The review of the preliminary engineering plans has found no significant issues and is recommended for zoning variation approval, subject to the following condition: Final engineering plans are subject to final engineering approval.



ORA-1
Office
Research
Assembly

22nd St

O-4
Office

CR
Conservation/Recreation

R-1
Single
Family
Detached
Residence

711 JORIE

NOTICE IS HEREBY GIVEN that a public hearing before the Zoning Board of Appeals of the Village of Oak Brook, DuPage and Cook Counties, Illinois, will be held on Tuesday, May 7, 2019 at 7:00 p.m. in the Samuel E. Dean Board Room of the Butler Government Center, Village of Oak Brook, 1200 Oak Brook Road, (31st Street and Spring Road), Oak Brook, Illinois 60523 for the purpose of considering the application from the petitioner, E. Xeter 711 Jorie, LLC, 101 West Elm Street, Suite 600 Conshohocken, PA 19428. The applicant is seeking variations as provided for under Title 13 of the Zoning Ordinance of the Village of Oak Brook, Illinois, Ordinance G-60 as amended. The petitioner is seeking the approval of variations to allow for the construction of additional parking spaces in the required setbacks on the property located at 711 Jorie and on an adjacent vacant Nicor easement parcel. The property may be generally described as 711 Jorie Blvd, Oak Brook, IL along with the Nicor Parcel 2, with the legal description as follows:

PARCEL 1: ALL OF LOT 1 IN 711 JORIE BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 26 AND PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1978 AS DOCUMENT R78-109620, IN DUPAGE COUNTY, ILLINOIS. SAID PARCEL BEING ALSO DESCRIBED AS FOLLOWS: ALL OF LOT 1 IN 711 JORIE BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 26 AND PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1978 AS DOCUMENT R78-109620, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 87 DEGREES 56 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 697.12 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 06 DEGREES 11 MINUTES 19 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 1, A DISTANCE OF 413.89 FEET TO AN ANGLE POINT IN SAID EASTERLY LINE; THENCE SOUTH 01 DEGREE 40 MINUTES 20 SECONDS WEST ALONG SAID EASTERLY LINE, 523.54 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 63 DEGREES 51 MINUTES 58 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 1, A DISTANCE OF 174.10 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE; THENCE SOUTH 66 DEGREES 08 MINUTES 17 SECONDS WEST ALONG SAID SOUTHERLY LINE, 290.03 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE; THENCE NORTH 79 DEGREES 30 MINUTES 26 SECONDS WEST ALONG SAID SOUTHERLY LINE, 254.48 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTHEASTERLY ALONG THE WESTERLY OF SAID LOT 1, BEING A CURVE CONCAVE NORTHWESTERLY, NOT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 574.00 FEET, A CHORD BEARING OF NORTH 11 DEGREES 59 MINUTES 08 SECONDS EAST, A CHORD LENGTH OF 280.91 FEET, AN ARC LENGTH OF 283.79 FEET; THENCE NORTH 02 DEGREES 07 MINUTES 24 SECONDS WEST ALONG SAID WESTERLY LINE, 625.33 FEET TO THE POINT OF BEGINNING; IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2 (Nicor Parcel): EASEMENT FOR THE BENEFIT OF AND APPURTENANT TO PARCEL 1, AFORESAID, AS CREATED BY INSTRUMENTS RECORDED AS DOCUMENT 991700 AND AS DOCUMENT 993993 FOR THE PERPETUAL USE OF THE SURFACE OF THAT PORTION OF THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE LYING NORTH OF THE SOUTH LINE OF LOT 14 AS SHOWN ON NORTHERN ILLINOIS GAS COMPANY'S YORK TOWNSHIP ASSESSMENT PLAT NO. 1 RECORDED AS DOCUMENT R64-28042, SAID POINT BEING ALSO ON THE SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DOCUMENT 991700; THENCE NORTH 00 DEGREES 07 MINUTES 59 SECONDS WEST ALONG THE EASTERLY LINE OF JORIE BOULEVARD, EXTENDED AS SHOWN ON SAID DOCUMENT R70-37311 FOR A DISTANCE OF 75.00 FEET TO A POINT ON THE SOUTHERLY LINE OF S.B.1. ROUTE 55, 22ND STREET, CERMAK ROAD AS SHOWN ON DOCUMENT NUMBERS 333637 AND R62-22071, SAID POINT BEING ALSO THE NORTHERLY LINE OF SAID LOT 14 AS SHOWN ON DOCUMENT NO. R64-28042, SAID POINT BEING ALSO THE NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN DOCUMENT NO. 991700; THENCE NORTH 89 DEGREES 37 MINUTES 00 SECONDS EAST ALONG SAID SOUTHERLY LINE OF 22ND STREET AS SHOWN ON DOCUMENT NUMBERS 333637 AND R62-22071, BEING SAID NORTHERLY LINE OF LOT 14 AS SHOWN ON DOCUMENT NO. R64-28042, ALSO BEING SAID NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN DOCUMENT NO. 991700, FOR A DISTANCE OF 707.28 FEET; THENCE SOUTH 08 DEGREES 09 MINUTES 30 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 489.82 FEET; THENCE SOUTH 3 DEGREES 38 MINUTES 31 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 523.54 FEET; THENCE NORTH 61 DEGREES 53 MINUTES 15 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 174.11 FEET; THENCE SOUTH 68 DEGREES 11 MINUTES 47 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 289.97 FEET; THENCE NORTH 77 DEGREES 30 MINUTES 42 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 254.41 FEET TO THE EASTERLY LINE OF JORIE BOULEVARD AS SHOWN ON SAID DOCUMENT N9. R70-37311; THENCE NORTHERLY ALONG SAID EASTERLY LINE OF JORIE BOULEVARD BEING A CURVE CONCAVE WESTERLY, HAVING A TANGENT BEARING OF NORTH 28 DEGREES 14 MINUTES 22 SECONDS EAST, HAVING A RADIUS OF 574.00 FEET FOR A DISTANCE OF 284.24 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 07 MINUTES 59 SECONDS WEST ALONG SAID EASTERLY LINE OF JORIE BOULEVARD FOR A DISTANCE OF 625.34 FEET TO SAID POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

PIN 06-25-101-001 and 06-25-100-003. The petitioner's application including all supporting documents is on file with the Director of the Development Services Department. Persons wishing to examine the petition documents may arrange to do so with the Development Services Department, Village of Oak Brook, 1200 Oak Brook Road, Oak Brook, IL 60523, telephone 630-368-5106. In accord with the provisions of the American with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at this public meeting should contact the Butler Government Center (Village Hall), at 630-368-5010 as soon as possible before the meeting date or for TDD response (630) 990-2131 as soon as possible before the meeting date. Charlotte Pruss Village Clerk Published at the direction of the Corporate Authorities and the Zoning Board of Appeals of the Village of Oak Brook, DuPage and Cook Counties, Illinois. Published in Daily Herald April 16, 2019 (4522699)

CERTIFICATE OF PUBLICATION

Paddock Publications, Inc.

DuPage County

Daily Herald

Corporation organized and existing under and by virtue of the laws of the State of Illinois, DOES HEREBY CERTIFY that it is the publisher of the DuPage County DAILY HERALD. That said DuPage County DAILY HERALD is a secular newspaper, published in Naperville and has been circulated daily in the Village(s) of:

- Addison, Aurora, Bartlett, Bensenville, Bloomingdale, Carol Stream, Darien, Downers Grove, Elmhurst, Glen Ellyn, Glendale Heights, Hanover Park, Hinsdale, Itasca, Keeneyville, Lisle, Lombard, Medinah, Naperville, Oakbrook, Oakbrook Terrace, Plainfield, Roselle, Villa Park, Warrenville, West Chicago, Westmont, Wheaton, Willowbrook, Winfield, Wood Dale, Woodridge

County(ies) of DuPage and State of Illinois, continuously for more than one year prior to the date of the first publication of the notice hereinafter referred to and is of general circulation throughout said Village(s), County(ies) and State.

I further certify that the DuPage County DAILY HERALD is a newspaper as defined in "an Act to revise the law in relation to notices" as amended in 1992 Illinois Compiled Statutes, Chapter 715, Act 5, Section 1 and 5. That a notice of which the annexed printed slip is a true copy, was published April 16, 2019 in said DuPage County DAILY HERALD.

IN WITNESS WHEREOF, the undersigned, the said PADDOCK PUBLICATIONS, Inc., has caused this certificate to be signed by, this authorized agent, at Arlington Heights, Illinois.

PADDOCK PUBLICATIONS, INC.
DAILY HERALD NEWSPAPERS

BY Paula Baltz
Designee of the Publisher and Officer of the Daily Herald

Control # 4522699

April 16, 2019

Dear Resident:

The Oak Brook Zoning Board of Appeals and the Village Board will be considering variations to the Zoning Regulations. All meetings scheduled are on the reverse side of this notice.

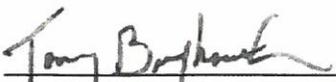
The application has been filed by:	Exeter 711 Jorie, LLC 101 W. Elm Street, Suite 600 Conshohocken, PA 19428
The property is located at:	711 Jorie Boulevard And an adjacent Nicor Easement Parcel
Relationship of applicant to property:	Property Owner
Vacant Nicor Parcel Contact:	Nicor Gas 1844 Ferry Road Naperville, IL 60563

Also shown on the reverse side of this notice is a map** of the area to assist you in determining your relationship to the property in question.

The petitioner is seeking the approval of several variations to allow construction of additional parking spaces within the required yards setback.

If you desire more detailed information, please contact the Development Services Department at 630-368-5106 or 630-368-5103 between 8 AM-4 PM, Monday through Friday, except for holidays.

Sincerely,



Tony Budzikowski, AICP
Director, Development Services Department

TB/gp

In accord with the provisions of the Americans with Disabilities Act, any individual who is in need of a reasonable accommodation in order to participate in or benefit from attendance at a public meeting of the Village of Oak Brook should contact the Butler Government Center (Village Hall), at 630-368-5010 as soon as possible before the meeting date or for TDD response (630) 990-2131 as soon as possible before the meeting date.

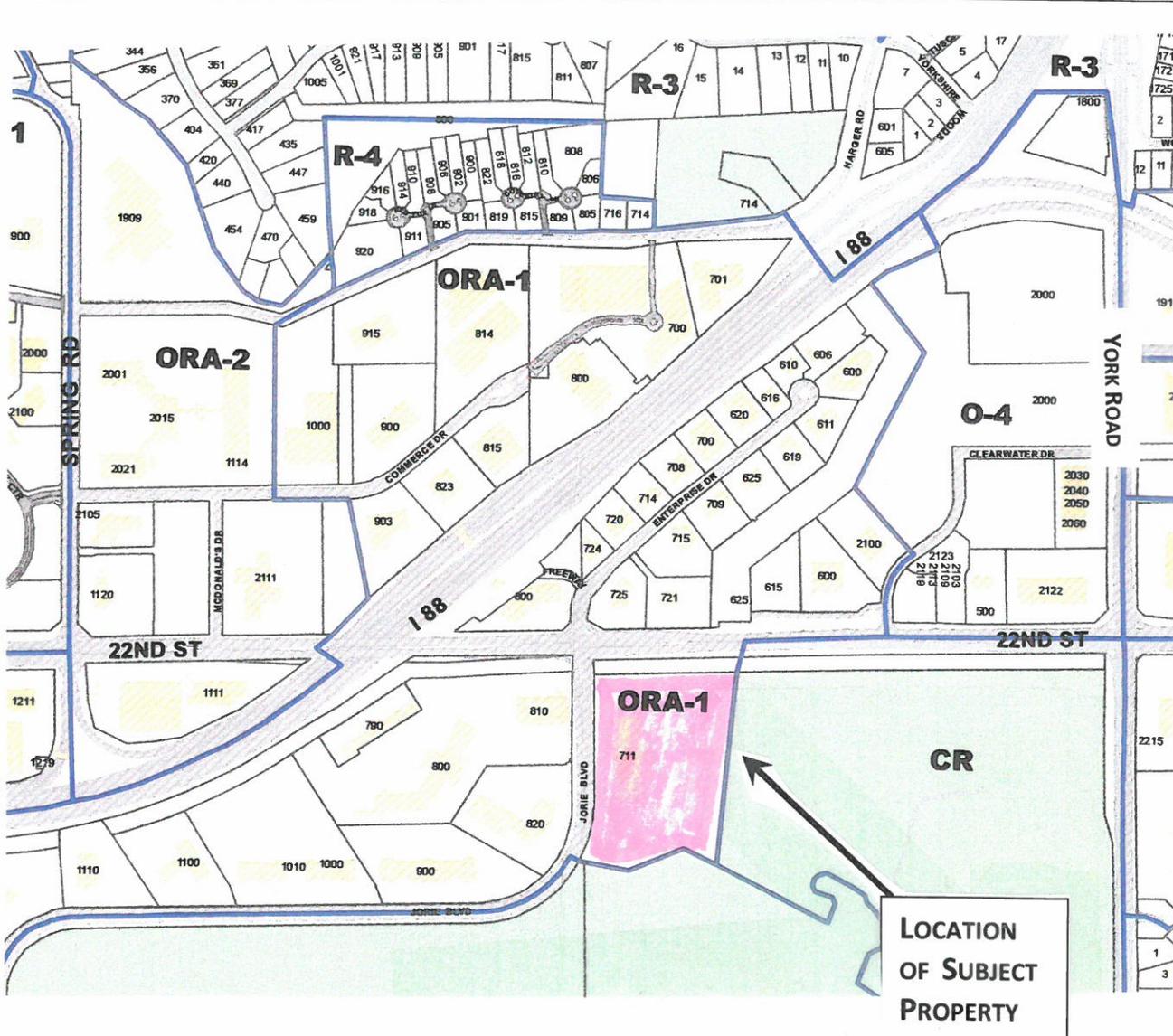
All meetings are held in the Butler Government Center of the Village of Oak Brook, located at 1200 Oak Brook Road (31st Street and Spring Road), Oak Brook, Illinois.

Zoning Board of Appeals*7:00 p.m., Tuesday, May 7, 2019

Board of Trustees Meeting7:00 p.m., Tuesday, May 28, 2019***

*Public Hearing Body – Variation

***Tentative – Follows the completion of the Zoning Board of Appeals public hearing



*Note: The map provided is only an approximation of the area in question and is intended to be used only as a visual aid to determine your relationship to the property

Clerk Pruss read the Proclamation and President Lalmalani presented the declaration to Head Librarian Jacob Post.

4. RESIDENT/VISITOR COMMENT – Resident Ray Cesca, addressed the Board regarding the impact of rental apartments in Oak Brook. Bill Linderman spoke regarding his concerns with the Commercial Area Revitalization Plan, the Library, the Oak Brook Park District, and the Taste of Oak Brook.

5. APPROVAL OF MINUTES

A. Regular Board of Trustees Meeting of March 26, 2019

Motion by Trustee Yusuf, seconded by Trustee Manzo, to approve the Minutes of the Regular Board of Trustees Meeting Minutes of March 26, 2019. VOICE VOTE: Motion carried.

6. CONSENT AGENDA:

All items on the Consent Agenda are considered to be routine in nature and will be enacted in one motion. There will be no separate discussion of these items unless a Board member so requests, in which event, the item will be removed from the Consent Agenda and considered as the first item after approval of the Consent Agenda.

A. Accounts Payable for Period Ending, April 4, 2019 - \$547,046.55

Significant Items included in Above:

1) LEGAL SERVICES:

a) Rathje Woodward, LLC - Legal Services - February 3, 2019 - \$2,899.00

b) Rathje Woodward, LLC - Legal Services - February 3, 2019 - \$72.50
(FY19 YTD - \$16,983.16)

TOTAL LEGAL BUDGET FOR 2019 IS \$294,000

TOTAL LEGAL BILLS PAID FOR 2019- YTD - \$42,386.16

2) Brite - PD License Recognition System - \$155,846.01

3) Burns McDonnell - Engineering Services - \$26,983.25

4) IRMA - February 2019 - \$20,357.09

5) Shales McNutt LLC - PD Renovation/Addition - \$132,360.79

B. Approval of Payroll for Pay Period Ending:

1. March 23, 2019 - \$742,352.72

C. Development Services Referrals

1. 711 Jorie Blvd. - Parking Variation

2. 800 Jorie Blvd. - Wall Signage

D. Ordinances & Resolutions

1. ORDINANCE 2019-PP-S-1565, An Ordinance Authorizing the Sale Through Electronic Auction or Broker, Donation or Disposal of Certain Items of Personal Property Owned by the Village of Oak Brook
2. ORDINANCE 2019-COMREV+CP-EX-S-1566, An Ordinance Adopting the Commercial Areas Revitalization Plan as an Addendum to the Comprehensive Plan of the Village Code of the Village of Oak Brook
3. RESOLUTION 2019-BD-CL-REC-D-R-1798, A Resolution Authorizing the Destruction of Verbatim Recordings of Certain Closed Meetings of the Village Board of Trustees
4. RESOLUTION 2019-ZO-OZM-EX-R-1799, A Resolution Approving the 2019 Village of Oak Brook Official Zoning Map
5. RESOLUITON 2019-PD-V-PG-R-1800, A Resolution Approving the Waiver of Competitive Bidding and Authorizing the Purchase of a Police ATV
6. RESOLUTION 2019-SC-V-PG-R-1801, A Resolution Approving the Waiver of Competitive Bidding and Authorizing the Purchase of a Golf Utility Vehicle

E. Information on the York/Harger Intersection

Motion by Trustee Baar, seconded by Trustee Manzo, to approve the Consent Agenda, with the exception of Items 6.D.1., 6.D.2, and 6.D.5., and authorize expenditures as presented.

ROLL CALL VOTE:

Ayes: 5 – Trustees Baar, Cuevas, Manzo, Tiesenga, Yusuf

Nays: 0 – None

Abstain: 0 – None

Absent: 1 – Trustee Saiyed

Motion carried.

7. ITEMS REMOVED FROM CONSENT AGENDA

- 6.D.1. ORDINANCE 2019-PP-S-1565, An Ordinance Authorizing the Sale Through Electronic Auction or Broker, Donation or Disposal of Certain Items of Personal Property Owned by the Village of Oak Brook

Motion by Trustee Tiesenga, seconded by Trustee Manzo, that the Village Board adopt the attached ordinance authorizing the sale and donation of surplus items.

Trustee Tiesenga asked how the Fire Department selected the Genoa-Kingston Fire Protection District to receive a donation of the Village's equipment. Fire Chief Liss explained that they reached out to Oak Brook through one of the Fire Fighters.

ROLL CALL VOTE:

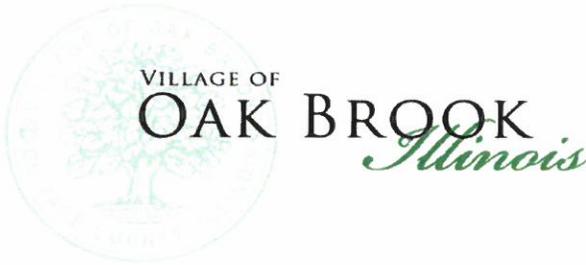
Ayes: 5 – Trustees Baar, Cuevas, Manzo, Saiyed, Tiesenga, Yusuf

Nays: 0 – None

Abstain: 0 – None

Absent: 1 – Trustee Saiyed

Motion carried.



ITEM 6.C.1

BOARD OF TRUSTEES MEETING
SAMUEL E. DEAN BOARD ROOM
BUTLER GOVERNMENT CENTER
1200 OAK BROOK ROAD
OAK BROOK, ILLINOIS
630-368-5000

AGENDA ITEM

Regular Board of Trustees Meeting
of
April 9, 2019

SUBJECT: Referral – Exeter 711 Jorie, LLC – 711 Jorie Boulevard – Zoning Variations for Parking

FROM: Tony Budzikowski, AICP, Development Services Director *TB*

BUDGET SOURCE/BUDGET IMPACT: N/A

RECOMMENDED MOTION: I move to refer the request for zoning variations for parking to the Zoning Board of Appeals for public hearing and recommendation.

Background/History:

The applicant and property owner, Exeter 711 Jorie, LLC (“Exeter”) has submitted parking variation requests to install 44 additional parking spaces in the required side yard setback abutting a street for the property at 711 Jorie Boulevard. The proposed 44 permeable paver spaces are part of an overall parking improvement plan intended to add up to 137 parking spaces at the property. The intent of the project is to increase the parking ratio in order to meet current and future tenant parking demands.

The specific zoning variation requests are to Sections 13-12-3H and H.2 of the Zoning Code and are intended to reduce the required side yard setback abutting 22nd Street from 50 feet to 45 feet and to permit 44 permeable paver parking spaces in the required setback. A third variation request is being made to Section 13-12-3H to reduce the interior side yard setback for a parking lot from 10’ to 0’.

Several additional documents have been included with this referral to provide the Board with more detailed and specific information related to the request. This additional application material is provided below and as follows:

1. Public Hearing Application for Zoning Variations,
2. Cover letter(s) explaining the request,

3. Zoning Variation Standards, and
4. Site Plan

Recommendation:

Please refer the request for a zoning variation for 711 Jorie Boulevard to the Zoning Board of Appeals for review, public hearing and a recommendation.

Zoning Ordinance Section -

13-12-3H - to allow parking to be reduced from 10 feet to zero lot line for both parcels.
and

13-12-3H.2 - to allow more than 6 parking spaces to be located in the required front yard (both Lots)

Note:

13-12-3H - Seeking Variation to 0'- Lot line that abuts the NICOR property and that the NICOR property abuts 711 Jorie:

13-12-3H. In Yards: Off-street parking spaces, open to the sky, in nonresidential districts, may be located in required interior side yards and rear yards, **no less than ten feet (10') from the nearest lot line**, except a parking area containing four (4) or more parking spaces shall be not less than forty feet (40') from an adjoining residence district boundary; provided, however, that:

13-12-3H.2. - Seeking variation to allow more than 6 parking spaces in front yard. Ask for both lots.

13-12-3H.2. **On any lot in ORA1** or ORA2 office-research-assembly district and an O3 or O4 office district, not more than ten percent (10%) of the required off-street parking spaces, **not to exceed six (6) spaces, may be located in a required front yard** or along the side of the building adjoining the street and not less than twenty five feet (25') from a street line **or fifty feet (50') from the street lines of Cermak** and York Road; and



VILLAGE of OAK BROOK

1200 OAK BROOK ROAD
OAK BROOK, IL 60523
630-990-3045

PETITION APPLICATION for PUBLIC HEARING

ZONING ORDINANCE:

APPEAL (\$300)

VARIATION (\$750)

AMENDMENT (\$750)

SPECIAL USE (\$750)

CERTIFICATE OF APPROPRIATENESS (\$500)

STORMWATER: VARIATION (\$750)

PUBLIC HEARING SIGNS (\$50- each lot frontage) - Enter Number of Street Frontages/Per Parcel

APPLICANT TO COMPLETE

NOTE: ALL APPLICATIONS ARE TO BE RECEIVED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT AND AFTER AN INITIAL REVIEW WILL BE FILED WITH THE VILLAGE CLERK.

LOCATION OF SUBJECT PROPERTY 711 Jorie Blvd PERMANENT PARCEL NO* 6 25 101 1
LOT NO. 1 SUBDIVISION 711 Jorie Boulevard Subdivision LEGAL ADDRESS* See attached
ZONING DISTRICT ORA-1 ZONING ORDINANCE SECTION See attached
ACTION REQUESTED See attached.

PROPERTY INTEREST OF APPLICANT: OWNER CONTRACT PURCHASER AGENT
OWNER(S) OF RECORD Exeter 711 Jorie, LLC PHONE _____
ADDRESS 101 W. Elm Street, Suite 600 CITY Conshohocken STATE PA ZIP 19428
BENEFICIARY(IES) OF TRUST _____ PHONE _____
ADDRESS _____ CITY _____ STATE _____ ZIP _____
NAME OF APPLICANT (and Billing Information) Exeter 711 Jorie, LLC PHONE _____
ADDRESS 101 W. Elm Street, Suite 600 CITY Conshohocken STATE _____ ZIP 19428
Contact Name and E-mail Address(s) Tim Pudwell - tpudwell@exeterpg.com

I (we) certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true to the best of my (our) knowledge and belief. I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the above subject property as described in the Village Code. In addition to the above fees, applicant agrees to reimburse the Village for publication costs within 30 days of billing.

Tim Pudwell 4/10/19 Tim Pudwell 4/10/19
Signature of Owner Date Signature of Applicant Date

DO NOT WRITE IN THE SPACE BELOW - FOR OFFICE USE ONLY

Date Filed 4/1/19 Fee Paid \$ 1,600.00 Receipt No. 517075 Received By C. Chirrelli
Board of Trustees (Referral) 4/9/19 Notice Published 4/16/19 Newspaper Daily Herald Adj. Property Owners Notified 4/16/19
PUBLIC HEARING DATES: Plan Commission N/A Zoning Board of Appeals May 7, 2019
Board of Trustees * May 28, 2019 Board of Trustees * June 4, 2019
(Approval of Ordinance)
SIGNED - VILLAGE CLERK Charolette Pruss Date 4/1/19

* Tentative

A

Zoning Ordinance Section & Action Requested

Applicant requests the Village to approve its variation from the following sections of the Zoning Regulations to allow an additional 44 parking stalls to be located in the required yard setback of the Subject Property:

1. 13-12-3H - to allow parking to be reduced from 10 feet to zero lot line for both parcels; and,
2. 13-12-3H.2 - to allow more than 6 parking spaces to be located in the required front yard for both parcels.

Applicant requests the Village to approve its variations from Sections 13-12-3H and 13-12-3H.2 of the Zoning Regulations to allow an additional 45 parking stalls to be located in the required yard setback of Nicor's Property and 40 parking stalls in the required yard setback of Applicant's Property. The Subject Property is zoned as ORA-1, requiring a front yard of 100 feet in depth. Section 13-12-3H.2 allows for 6 parking stalls to be located in the required front yards in ORA-1 districts. However, Section 13-12-3H.2 requires property owners along 22nd Street to meet larger setback requirements than many other properties in the Village. As such, neighboring property owners have requested and received similar relief from the Village to allow parking within yards bordering 22nd Street. The Subject Property faces another unique circumstance and hardship by directly bordering Salt Creek and its corresponding flood plain. Applicant has performed its due diligence to explore other options but found that the only viable way to meet tenants' parking demand while minimizing effects on the surrounding area is to expand the parking lot northward towards 22nd Street. This would require a variation to allow for parking stalls to be located within 0 feet of the lot line between Nicor's Property and Applicant's Property as well as more than 6 parking spaces to be located in the required front yards of both Nicor's Property and Applicant's Property. The expanded parking lot will be approximately 66 feet from the street line of 22nd Street at its nearest point on the western edge and approximately 77 feet at its widest point on the eastern edge of the proposed parking lot. Should the Village support Applicant's variation request, Applicant is confident it will find occupants that will benefit the Village and surrounding communities.



Parth Patel
Design Engineer

1844 Ferry Road
Naperville, IL 60563
630 388 2923 tel
papatel@southernco.com

November 8, 2018

Daniel Stevens
Spaceco, Inc.
9575 W Higgins Rd, Ste 700
Rosemont, Illinois 60018

Dear Mr. Stevens,

Nicor has initiated a review of the proposed plans for the 711 Jorie Blvd site improvement project. We have determined there is a 30-inch High Pressure Nicor Gas pipeline in proximity to the proposed road work. Based on electronic locates it has been determined the final grade may be less than 36 inches after the proposed driveway is installed.

For further analysis please establish elevation through excavation of the existing Nicor pipeline at the proposed driveway crossing. Please coordinate the proposed work with Nicor's Asset Protection group. Once the elevation of the Nicor line is known we will complete the review. The minimum recommended cover for this type of line is 36 inches.

Nicor has no objection to your request for a variance from the Village of Oak Brook, subject to the following: (i) your incorporation of the protective design and construction measures required by Nicor to protect its facilities; (ii) assurance that all parties, including the Village of Oak Brook, understand and agree that any installations on Nicor's property are subject to Nicor's superior right to use the entirety of Nicor's property in the course of its business. This means that any installations or improvements (including any berms, retaining walls etc.) that conflict with any current or future use of Nicor's property by Nicor are subject to temporary or permanent relocation or removal. Nicor will not agree to restrict its future use of the property as a result of any conditions required by the Village of Oak Brook in granting your requested variance.

Should your construction plan or the scope of your work change, please contact Nicor Gas so that we can provide an updated analysis of any potential conflicts. Additionally, please call JULIE, 1-800-892-0123, 48 hours prior to construction for location of our facilities within your proposed project.

Should you have any questions or comments, please do not hesitate to contact me via phone or e-mail.

Sincerely,

Parth Patel

cc: [Insert contact], Village of Oakbrook

A.2



33 NORTH LASALLE STREET, 28TH FLOOR CHICAGO, ILLINOIS 60602
BRIAN P. LISTON (312) 580-1594 PETER TSANTILIS (312) 604-3808 FACSIMILE (312) 580-1592
April 15, 2019

VIA FEDEX DELIVERY

Zoning Board of Appeals
Village of Oak Brook
1200 Oak Brook Road
Oak Brook, IL 60523

RE: Zoning Variation Request
711 Jorie Blvd.
Oak Brook, Illinois 60523
PIN: 06-25-101-001

Dear Members of the Zoning Board Appeals:

Exeter 711 Jorie, LLC (“Applicant”) recently purchased the property located at 711 Jorie Boulevard, Oak Brook, Illinois 60523 (PIN: 06-25-101-001) (“Applicant’s Property”) which abuts property owned by Nicor running along 22nd Street (PIN: 06-25-100-003) (“Nicor’s Property”) (collectively, the “Subject Property”) and respectfully requests the Village of Oak Brook (the “Village”) to support and approve its proposed development on the Subject Property and the requested variations to the zoning code in regards to the parking along 22nd Street as described further herein and on the documents and plans enclosed herein.

Applicant requests the Village to approve its variations from Sections 13-12-3H and 13-12-3H.2 of the Zoning Regulations to allow an additional 45 parking stalls to be located in the required yard setback of Nicor’s Property and 40 parking stalls in the required yard setback of Applicant’s Property. The Subject Property is zoned as ORA-1, requiring a front yard of 100 feet in depth. Section 13-12-3H.2 allows for 6 parking stalls to be located in the required front yards in ORA-1 districts. However, Section 13-12-3H.2 requires property owners along 22nd Street to meet larger setback requirements than many other properties in the Village. As such, neighboring property owners have requested and received similar relief from the Village to allow parking within yards bordering 22nd Street. The Subject Property faces another unique circumstance and hardship by directly bordering Salt Creek and its corresponding flood plain. Applicant has performed its due diligence to explore other options but found that the only viable way to meet tenants’ parking demand while minimizing effects on the surrounding area is to expand the parking lot northward towards 22nd Street. This would require a variation to allow for parking stalls to be located within 0 feet of the lot line between Nicor’s Property and Applicant’s Property as well as more than 6 parking spaces to be located in the required front yards of both Nicor’s Property and Applicant’s Property. Should the Village support Applicant’s variation request, Applicant is confident it will find occupants that will benefit the Village and surrounding communities.

Applicant employed Kenig, Lindgren, O’Hara, Aboona, Inc. (“KLOA”) to conduct a Parking Study which found that the parking lot needs to have approximately 756 spots to meet the peak parking demand of the office development at full occupancy but currently has 616 parking spaces. Therefore, Applicant proposes to expand its parking lot by adding approximately 137 parking stalls in total with 45 of those to be within the required front yard of Nicor’s Property and 40 parking stalls to be in the required front yard of Applicant’s Property. The expanded parking lot will be approximately 66 feet from the street line of 22nd Street at its nearest point on the western edge and approximately 77 feet at its widest point on the eastern edge of the proposed parking lot. Applicant’s 753 parking spaces will still fall short of KLOA’s

estimate of sufficient parking spaces to meet peak demand, but the additional parking spots will make the Subject Property competitive with surrounding properties for today's tenants.

Along with the proposed parking lot expansion, Applicant has requested and received IDOT's conditional approval to construct an access drive on 22nd Street. The drive will be located approximately 475 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The proposed access drive will be approximately 26 feet wide and provide one inbound lane and one outbound lane with the outbound lane under stop sign control. With the proposed access drive, office-generated traffic traveling to and from the east on 22nd Street will be able to directly access the office development and will not have to traverse Jorie Boulevard, reducing congestion at the intersection of Jorie Boulevard and 22nd Street.

As mentioned, Applicant's parking expansion will encroach upon and the access drive will traverse through Nicor's Property. Nicor granted Applicant's predecessor-in-interest an easement to use Nicor's Property for this purpose and has been heavily involved with the predevelopment process by reviewing and proposing changes to detailed plans. Nicor has approved Applicant's proposed work subject to the exact depth of the gas pipeline that runs through Nicor's Property and that Applicant provides sufficient cover of the line. Applicant will either conduct a hydrovacuum excavation test or dig by hand to determine the depth of the gas facilities on Nicor's Property with a Nicor representative present at all times. Should the tests determine that the gas facilities are at an unsafe depth to continue with Applicant's plans, Applicant will revise accordingly and obtain Nicor's approval of the revised plans. Otherwise, Applicant will stake out where the gas main runs for the entirety of the project.

Applicant has employed Development Solutions, Inc. ("DSI") as its general contractor to construct the proposed development. From start to finish, the construction of the proposed parking lot and access drive will take approximately 4.5 months from the time Applicant and DSI receive the appropriate permits. DSI will use a track excavator, dump trucks and D5 bulldozers to complete its work. Ian Wilson is the project manager and main point of contact for DSI. He can be reached at 310-490-2653 or iwilson@dsi-group.com. Construction is anticipated to run from June 1, 2019 – September 15, 2019.

DSI and Applicant confirm: (i) that no fuel or hazardous substances will be stored on the Subject Property, (ii) that proper erosion control will be implemented during all work activities, (iii) that no above ground or underground storage tanks will be placed on the Subject Property; and, (iv) that any soil excavated and disposed of will be managed consistent with Federal, State, and Municipal laws and regulations. Should DSI unexpectedly need any fill material, DSI confirms and will re-confirm that it will meet IEPA's definition of Clean Fill.

Upon completion of both the parking lot and access drive, Applicant restore and beautify the Subject Property. Applicant has employed Ware Malcomb to redesign the landscaping of the property running along 22nd Street and the interior parking lot. As shown on the enclosed Landscape Plans, Ware Malcomb will only use local plants that help maintain the structural integrity of Nicor's Property while still providing a buffer of Applicant's parking lot from 22nd Street starting with an approximately 5 foot berm. Applicant will plant trees and shrubs on top of the berm to further screen the parking lot expansion.

Applicant respectfully requests the Village to approve its variance application based on the fact that the Subject Property is uniquely situated between 22nd Street and Salt Creek. As mentioned, the Village's Zoning Code requires property owners along 22nd Street to meet larger setback requirements and Salt Creek's floodplain surrounds the Subject Property to the east and south. Neighboring property owners along 22nd Street have requested and received similar relief from the Village without the added burden of the floodplain affecting their properties. Applicant has performed its due diligence to explore other options but found that the only viable way to meet tenant's parking demand while minimizing effects on the

THE LAW OFFICES OF
LISTON & TSANTILIS

surrounding area is to expand the parking lot northward towards 22nd Street. Allowing this expansion would place Applicant on equal footing with other property owners to competitively market the Subject Property and bring first-rate businesses to the Village.

To support the above, enclosed please find the following documents:

1. Applicant's Variation Application
2. Subject Property's Legal Description
3. Current Real Estate Tax Bill
4. Proof of Ownership
5. Mailing Address Labels
6. Zoning Variation Request Standards
7. Correspondence and Approval Letters from IDOT and Nicor
8. Plat of Survey
9. Site Improvement Plans
10. Tentative list of persons testifying at the hearing
11. CD of the following:
 - a. Plat of Survey
 - b. Site Plan
 - c. Site Improvement Plans
 - d. Elevation Plan
 - e. Landscape Plans
 - f. KLOA Traffic Impact Study
 - g. KLOA Parking Study

If you have questions or concerns, or require additional information, please contact me at (312) 604-3818 or tgoodwyn@tlawchicago.com.

Regards,


Thomas Goodwyn

Encls.

Zoning Variation Request Standards

Standards:

(1) The Zoning Board of Appeals shall not recommend a variation of the provisions of this Title as authorized in this Section unless it shall have made findings of fact based upon the evidence presented to it on the following specific issues that:

(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the district in which it is located.

Response: The below-market parking ratio has negatively impacted the overall leasing at the building. Tenants have not been willing to lease the property with the current parking ratio, and the occupancy and net operating income of the building have decreased and will continue to decrease. The Applicant employed Kenig, Lindgren, O'Hara, Aboona, Inc. ("KLOA") to conduct a Parking Study which found that the parking lot needs to have approximately 756 spots to meet the peak parking demand of the office development at full occupancy but currently has 616 parking spaces. See p. 7 of KLOA's Parking Study. The Applicant is requesting a zoning variance to allow an additional 40 to be located in the required front yard of Applicant's Property. This is in addition to adding 52 zoning-compliant spots along Jorie Blvd and 22nd Street, 35 spots abutting the eastern side of the building and 6 handicap spots along the southern side of the building. The expanded parking lot will be approximately 66 feet from the street line of 22nd Street at its nearest point on the western edge and approximately 77 feet at its widest point on the eastern edge of the proposed parking lot. Applicant's 753 parking spaces will still fall short of KLOA's estimate of sufficient parking spaces to meet peak demand, but the additional parking spots will make the Subject Property competitive with surrounding properties for today's tenants.

(b) The plight of the owner is due to unique circumstances.

Response: The layout and physical shape of the site provides limited options for expanding the parking. There is very little space left available to Applicant to be able to expand the parking lot without relief from the zoning code. Further, the Subject Property borders Salt Creek and surrounded by its floodplain to the east and south. Therefore, the most feasible option is to expand the existing side yard parking along 22nd Street to the north. However, Oak Brook's zoning code places an additional burden by increasing the required setback for property owners along 22nd Street which has been exacerbated each time 22nd Street is expanded. A parking deck would be too costly and alter the essential character of the locality as there are very few parking decks in this area. The Applicant has developed a viable plan to increase the parking numbers to meet today's demands while minimizing the effect on surrounding property owners and the general public.

(c) The variation, if granted, will not alter the essential character of the locality.

Response: If granted, the variation will not alter the essential character of the locality. The Applicant is asking for relief to add 40 parking stalls in the required front yard of Applicant's Property, approximately 66-77 feet from 22nd Street. Oak Brook currently allows for off-street parking places 50 feet from 22nd Street. The extra 5 feet will not alter the commercial character

along 22nd Street. Further, the proposed parking will be sufficiently screened by an approximately 5 foot berm with updated landscaping. The new landscaping will dramatically improve the appearance of the property from the street level view and for visitors coming to the property.

(2) For the purpose of supplementing the above standards, the Zoning Board of Appeals, in making the determination whether there are practical difficulties or particular hardships, shall also take into consideration the extent to which the following facts, favorable to the applicant, have been established by the evidence that:

(a) The particular physical surroundings, shape, or topographical conditions of the specific property involved would bring a particular hardship upon the owner as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out.

Response: As mentioned previously, the Applicant has explored other options to increase the parking numbers and will add approximately 93 zoning-compliant parking spots throughout the Applicant's Property. The only other way the Applicant can increase that number is by adding a parking deck which is not economically viable nor is it compatible with the surrounding properties. There is a renewed demand for suburban office locations which require greater parking ratios than what was anticipated previously. The shape and location of the Subject Property brings a particular hardship to the Applicant and requires the additional parking within the side yard along 22nd Street to make this Property viable to the Applicant and prospective tenants.

(b) The condition upon which the petition for variation is based would not be applicable generally to the other property within the same zoning classification.

Response: This condition does apply to surrounding property owners along 22nd Street with the larger required setback than other property owners. In fact, the property located at 1211-1315 received greater relief in May 2013 than what the Applicant is requesting, and the property located at 800 Enterprise Drive, located diagonally across the Jorie intersection from the Subject Property has even less of a parking setback from 22nd Street.

(c) The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

Response: The granting of the Applicant's requested variation will have no effect on the public welfare nor will it be injurious to surrounding property owners. The Applicant has done its due diligence in ensuring that the additional parking approximately 66 feet from 22nd Street at its nearest point will be properly screened and the Nicor pipes running underneath will be properly protected. Further, the Applicant has employed KLOA to conduct a traffic study which found that the current "roadway system and [proposed] access drives [including along 22nd Street] have sufficient reserve capacity to accommodate the project traffic volumes and the proposed access drive." See p. 20 of KLOA's Traffic Impact Study.

(d) The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the danger of fire, or otherwise endanger the public safety or substantially diminish or impair property values within the neighborhood.

Response: As mentioned throughout, the requested variation will have little to no effect on the Village, surrounding property owners, and the general public. KLOA has shown with their Traffic Impact Study that the current roadway system can support the additional parking and access drives, meaning that emergency vehicles will not be affected traversing Jorie Blvd and 22nd Street.

(e) That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

Response: The purpose of the requested variation is to meet today's market demand in terms of parking totals and finding viable tenants for the Subject Property. The Applicant desires to bring tenants to the Subject Property that the Village can be proud of by the number of jobs offered to Oak Brook residents and tax dollars those employers bring to the Village. Without the requested variations, the Subject Property will not reach its full potential occupancy that it would with the expanded parking lot.

(f) That the alleged difficulty or hardship has not been created by any person presently having an interest in the property

Response: The current condition was created by numerous factors: the expansion of 22nd Street, the existence of Salt Creek, and the current zoning code placing a harsher setback requirement on the Applicant and neighboring property owners than others that are not located along 22nd Street. None of these difficulties were created by the Applicant or any person who has any interest in the Applicant or the Subject Property.

Certification Surrounding Property Owners

I (we) certify that the names and addresses of all the surrounding property owners including mailing labels submitted with this application are located within a minimum distance of 250 feet in all directions from the perimeter of the subject property and that the number of feet occupied by all public roads, streets, alleys, and public ways has been excluded in computing the 250-foot requirement.

Said names and addresses are as recorded in the office of the County Recorder of Deeds (or the Registrar of Titles of the County) and as appear from the authentic tax records of this County. The property owners as listed have been obtained from the Township Assessors office within 30 days of the filing of this application.

The surrounding property owners list as submitted herewith and supporting attachments are true to the best of my (our) knowledge and belief.

I (we) give permission to the Village to install public hearing sign(s) on the lot frontages of the subject property as described in the Village Code. In addition to the required application fees, applicant/owner agrees to reimburse the Village for publication costs, recording fees, and any other associated costs or fees within 30 days of billing.

Exeter 711 Jorie, LLC

Printed Name of Owner

[Signature]

Signature of Owner

4/10/19

Date

Exeter 711 Jorie, LLC

Printed Name of Applicant

[Signature]

Signature of Applicant

4/10/19

Date

BILL TO INFORMATION:

Exeter 711 Jorie, LLC

Print Name/Company

Tim Pudwell

Contact Person

(630) 947-3776

Contact Phone

101 West Elm Street, Suite 600 Conshohocken, PA 19428

Address To be Billed

Alternate Phone

NOTE: If the applicant/owner has not complied with these requirements and notification has not been sent to a neighboring property owner within the 250-foot requirement less than 10 days prior to the scheduled hearing, the hearing on this matter will be postponed to the next regular meeting, or until such time as all neighbors within the 250-foot requirement have been sent proper notification.

D

711 S. Jorie Oak Brook			
Mailing Labels for Variation Application			
PIN	Property Address	Name of Property Owner	Mailing Address
06-26-201-028	800 Jorie Blvd	SF CH2 LLC	999 N. Sepulveda #600 El Segundo, CA 90245
06-26-201-011	900 Jorie Blvd	900 Jorie Boulevard LLC	21 Spinning Wheel Hinsdale, IL 60521
06-26-201-012	820 Jorie Blvd	Radiological Society N.A.	820 Jorie Blvd Oak Brook, IL 60523
06-26-202-002	2616 York Road	Marquette Natl Bk Trust # 13700 dated 4/1/1996	Butler National Golf Club 2616 S. York RD Oak Brook, IL 60523
06-25-101-002	2616 York Road	Marquette Natl Bk Trust # 13700 dated 4/1/1996	Butler National Golf Club 2616 S. York RD Oak Brook, IL 60523
06-25-300-017	1200 Oak Brook Road	Village of Oak Brook	Attn: Village Manager 1200 Oak Brook Road Oak Brook, IL 60523
06-24-307-009	600 22ND ST	Van Buren Commercial Real	Attn: Shadid Rahim 777 Busse Hwy Park Ridge, IL 60068
06-24-307-025	615 W 22ND ST	Village of Oak Brook	Attn: Village Manager 1200 Oak Brook Road Oak Brook, IL 60523
06-24-307-024	Butler Saltcreek	Forest Preserve District	P.O. Box 5000 Wheaton, IL 60189
06-24-306-009	721 Enterprise Drive	721 Enterprise LLC	715 Enterprise Dr. Oak Brook, IL 60523
06-24-306-011	1200 Oak Brook Road	Village of Oak Brook	Attn: Village Manager 1200 Oak Brook Road Oak Brook, IL 60523
06-23-405-003	800 Enterprise Drive	800 Enterprise Prop LLC	222 N. LaSalle Street #1000 Chicago, IL 60602
06-23-405-004	724 Enterprise Drive	Falcon Insurance Co.	724 Enterprise Drive Oak Brook, IL 60523
06-23-405-005	724 Enterprise Drive	Falcon Insurance Co.	724 Enterprise Drive Oak Brook, IL 60523
06-23-405-006	Oak Brook Rd	Village of Oak Brook	Attn: Village Manager 1200 Oak Brook Road Oak Brook, IL 60523
06-23-405-007	N/A	Dan Management Corp	c/o Braeside Realty Trust 10 E. 22nd St. #116 Lombard, IL 60148
06-25-100-003	Jorie Blvd & 22nd Street	Nicor Gas/Southern Co	241 Ralph McGill Blvd NE Bin 10081 Atlanta, GA 30309-3374
06-26-201-025	Jorie Blvd	Nicor Gas/Southern Co	241 Ralph McGill Blvd NE Bin 10081 Atlanta, GA 30309-3374
06-26-201-001	22nd Street	Oak Brook Park District	1450 Forest Gate Rd Oak Brook, IL 60523

Subject Property Verification

(Complete a separate form for each P.I.N.)

1. Permanent Index Number (P.I.N. from Real Estate Tax Bill): 6 25 101 1
2. Common Address: 711 Jorie Boulevard
3. Type the Complete Legal Description Below. (Attach a separate page if longer than the area provided)
4. Email the Legal Description to gpolanek@oak-brook.org

See attached.

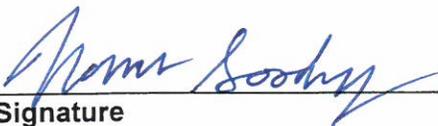
The Permanent Index Number, Common Address and Legal information provided has been verified as follows:

DuPage County Records/Research Room: (630-682-7398) Contact Person: Kim Gallivan
Date called: 12/05/2018

I verify that the information provided above is accurate.

Thomas Goodwyn

Printed Name



Signature

Date: 4/15/19 Relationship to Applicant: Attorney

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Legal Description Review

Corrections Required Yes _____ No _____

Approved By: _____ Date _____

8983448 DG 10F1
This document prepared by:
Michael D. Rothstein, Esq.
Dykema Gossett PLLC
10 S. Wacker Drive
Suite 2300
Chicago, IL 60606

After recording return to:
Todd Chase, Esq.
The Chase Law Group
1447 York Road, Suite 505
Lutherville, MD 21093



FRED BUCHOLZ

DUPAGE COUNTY RECORDER

OCT. 19, 2017 RHSP 11:01 AM
DEED \$45.00 06-25-101-001
TRANSFER TAX IL/DUPAGE 21,675.00
009 PAGES R2017-107855

Above This Line Reserved for Official Use Only

SPECIAL WARRANTY DEED

MCDONALD'S USA, LLC, a Delaware limited liability company, of the City of Oak Brook, State of Illinois, hereinafter "Grantor", for and in consideration of \$10.00 and other good and valuable consideration, cash in hand paid, the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain and sell to EXETER 711 JORIE, LLC, a Delaware limited liability company, with an address at 101 West Elm Street, Suite 600, Conshohocken, Pennsylvania, 19428 hereinafter "Grantee", the following real estate, together with all improvements located thereon, in the County of DuPage, State of Illinois, to wit:

SEE EXHIBIT A ATTACHED HERETO

SUBJECT only to the matters set forth on Exhibit B attached hereto and incorporated by this reference, hereinafter the "Permitted Encumbrances".

TO HAVE AND TO HOLD, the same, together with all rights and appurtenances to the same belonging, unto Grantee and to the successors and assigns of said Grantee forever. Grantor hereby covenanting that said Grantor and its successors and assigns shall and will WARRANT AND DEFEND the title to the Property unto said Grantee, against the lawful claims of all persons claiming by, through or under Grantor but none other, excepting, however, Permitted Encumbrances.

(SIGNATURE PAGE FOLLOWS)

3.1

CHARGE C.T.I.C. DUPAGE

WITNESS Grantor's hand this the 13th day of October, 2017.

MCDONALD'S USA, LLC, a Delaware
limited liability company

By: [Signature]
Name: Val D. Mathelier
Title: Managing Counsel

STATE OF ILLINOIS)
) ss.
COUNTY OF DuPage)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, DO HEREBY CERTIFY THAT VAL D. MATHELIER, as Managing Counsel of MCDONALD'S USA, LLC, a Delaware limited liability company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument, appeared before me on this day in person, and acknowledged that he signed, sealed and delivered this instrument as his own free and voluntary act and as the free and voluntary act of said company for the uses and purposes therein set forth.

Given under my hand and notarial seal this 10th day of October, 2017.



[Signature]
Notary Public

SEND SUBSEQUENT TAX BILLS TO:

Exeter 711 Jorie, LLC
101 West Elm Street, Suite 600
Conshohocken, PA 19428
Attn: Timothy J. Weber

E.2

EXHIBIT A

Legal Description

PARCEL 1:

ALL OF LOT 1 IN 711 JORIE BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 26 AND PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1978 AS DOCUMENT R78-109620, IN DUPAGE COUNTY, ILLINOIS.

SAID PARCEL BEING ALSO DESCRIBED AS FOLLOWS:

ALL OF LOT 1 IN 711 JORIE BOULEVARD SUBDIVISION, BEING A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 26 AND PART OF THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 14, 1978 AS DOCUMENT R78-109620, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE NORTH 87 DEGREES 34 MINUTES 56 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 697.12 FEET TO THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 06 DEGREES 11 MINUTES 19 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 1, A DISTANCE OF 413.89 FEET TO AN ANGLE POINT IN SAID EASTERLY LINE; THENCE SOUTH 01 DEGREE 40 MINUTES 20 SECONDS WEST ALONG SAID EASTERLY LINE, 523.54 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH 63 DEGREES 51 MINUTES 58 SECONDS WEST ALONG THE SOUTHERLY LINE OF SAID LOT 1, A DISTANCE OF 174.10 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE; THENCE SOUTH 66 DEGREES 08 MINUTES 17 SECONDS WEST ALONG SAID SOUTHERLY LINE, 290.03 FEET TO AN ANGLE POINT IN SAID SOUTHERLY LINE; THENCE NORTH 79 DEGREES 30 MINUTES 26 SECONDS WEST ALONG SAID SOUTHERLY LINE, 254.48 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTHEASTERLY ALONG THE WESTERLY OF SAID LOT 1, BEING A CURVE CONCAVE NORTHWESTERLY, NOT TANGENT TO THE LAST DESCRIBED COURSE, HAVING A RADIUS OF 574.00 FEET, A CHORD BEARING OF NORTH 11 DEGREES 59 MINUTES 08 SECONDS EAST, A CHORD LENGTH OF 280.91 FEET, AN ARC LENGTH OF 283.79

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FEET; THENCE NORTH 02 DEGREES 07 MINUTES 24 SECONDS WEST ALONG SAID WESTERLY LINE, 625.33 FEET TO THE POINT OF BEGINNING; IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

EASEMENT FOR THE BENEFIT OF AND APPURTENANT TO PARCEL 1, AFORESAID, AS CREATED BY INSTRUMENTS RECORDED AS DOCUMENT 991700 AND AS DOCUMENT 993993 FOR THE PERPETUAL USE OF THE SURFACE OF THAT PORTION OF THE FOLLOWING DESCRIBED PARCEL OF REAL ESTATE LYING NORTH OF THE SOUTH LINE OF LOT 14 AS SHOWN ON NORTHERN ILLINOIS GAS COMPANY'S YORK TOWNSHIP ASSESSMENT PLAT NO. 1 RECORDED AS DOCUMENT R64-28042:

THAT PART OF THE NORTHEAST 1/4 OF SECTION 26 AND THAT PART OF THE NORTHWEST 1/4 OF SECTION 25, ALL IN TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTHEAST CORNER OF JORIE BOULEVARD AS SHOWN ON CORPORATE PLAZA SUBDIVISION UNIT ONE RECORDED AS DOCUMENT R70-37311, SAID POINT BEING ALSO ON THE SOUTH LINE OF LOT 14 AS SHOWN ON NORTHERN ILLINOIS GAS COMPANY'S YORK TOWNSHIP ASSESSMENT PLAT NO. 1 RECORDED AS DOCUMENT R64-28042, SAID POINT BEING ALSO ON THE SOUTHERLY LINE OF A TRACT OF LAND DESCRIBED IN DOCUMENT 991700; THENCE NORTH 00 DEGREES 07 MINUTES 59 SECONDS WEST ALONG THE EASTERLY LINE OF JORIE BOULEVARD EXTENDED AS SHOWN ON SAID DOCUMENT R70-37311 FOR A DISTANCE OF 75.00 FEET TO A POINT ON THE SOUTHERLY LINE OF S.B.I. ROUTE 55, 22ND STREET, CERMAK ROAD AS SHOWN ON DOCUMENT NUMBERS 333637 AND R62-22071, SAID POINT BEING ALSO THE NORTHERLY LINE OF SAID LOT 14 AS SHOWN ON DOCUMENT NO. R64-28042, SAID POINT BEING ALSO THE NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN DOCUMENT NO. 991700; THENCE NORTH 89 DEGREES 37 MINUTES 00 SECONDS EAST ALONG SAID SOUTHERLY LINE OF 22ND STREET AS SHOWN ON DOCUMENT NUMBERS 333637 AND R62-22071, BEING SAID NORTHERLY LINE OF LOT 14 AS SHOWN ON DOCUMENT NO. R64-28042, ALSO BEING SAID NORTHERLY LINE OF THE TRACT OF LAND DESCRIBED IN DOCUMENT NO. 991700, FOR A DISTANCE OF 707.28 FEET; THENCE SOUTH 08 DEGREES 09 MINUTES 30 SECONDS WEST ALONG A LINE

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FOR A DISTANCE OF 489.82 FEET; THENCE SOUTH 03 DEGREES 38 MINUTES 31 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 523.54 FEET; THENCE NORTH 61 DEGREES 53 MINUTES 15 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 174.11 FEET; THENCE SOUTH 68 DEGREES 11 MINUTES 47 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 289.97 FEET; THENCE NORTH 77 DEGREES 30 MINUTES 42 SECONDS WEST ALONG A LINE FOR A DISTANCE OF 254.41 FEET TO THE EASTERLY LINE OF JORIE BOULEVARD AS SHOWN ON SAID DOCUMENT NO. R70-37311; THENCE NORTHERLY ALONG SAID EASTERLY LINE OF JORIE BOULEVARD BEING A CURVE CONCAVE WESTERLY, HAVING A TANGENT BEARING OF NORTH 28 DEGREES 14 MINUTES 22 SECONDS EAST, HAVING A RADIUS OF 574.00 FEET FOR A DISTANCE OF 284.24 FEET TO A POINT OF TANGENCY; THENCE NORTH 00 DEGREES 07 MINUTES 59 SECONDS WEST ALONG SAID EASTERLY LINE OF JORIE BOULEVARD FOR A DISTANCE OF 625.34 FEET TO SAID POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 711 Jorie Boulevard,
Oak Brook, Illinois, 60523

PINS: 06-25-101-001

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EXHIBIT B

Permitted Encumbrances

1. TAXES FOR THE YEAR 2017 AND THEREAFTER.
2. THE LAND LIES WITHIN THE HINSDALE SANITARY DISTRICT WHICH HAS ACCEPTED FEDERAL GRANTS FOR SEWAGE TREATMENT WORKS PURSUANT TO PUBLIC LAW 92-500. FEDERAL LAW REQUIRES A USER CHARGE SYSTEM SEPARATE FROM GENERAL AD VALOREM PROPERTY TAXES.
3. RIGHTS OF TENANTS, AS TENANTS IN POSSESSION ONLY.
4. RIGHTS OF THE ADJOINING OWNERS TO THE FREE AND UNINTERRUPTED USE AND FLOW OF THE WATERS OF SAID CREEK.
5. GRANT OF EASEMENT MADE BY BUTLER COMPANY, A CORPORATION OF ILLINOIS, TO THE VILLAGE OF OAK BROOK DATED MAY 26, 1976 AND RECORDED AUGUST 11, 1976 AS DOCUMENT R76-55182, TO CONSTRUCT, OPERATE, REPAIR, REPLACE OR OTHERWISE MAINTAIN A BICYCLE PATH OVER AND UPON THAT PART OF THE LAND SHOWN ON THE PLAT ATTACHED THERETO AND MADE A PART THEREOF MARKED EXHIBIT "A", AND AS SHOWN ON THE PLAT OF 711 JORIE BOULEVARD SUBDIVISION RECORDED AS DOCUMENT NUMBER R78-109620, OVER AND UPON THE FOLLOWING DESCRIBED PORTION OF THE LAND:

DESCRIBED AS FOLLOWS: COMMENCING AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF JORIE BOULEVARD AS DEDICATED IN CORPORATE PLAZA SUBDIVISION UNIT ONE, RECORDED OCTOBER 14, 1970 AS DOCUMENT R70-37311 AND THE SOUTH PROPERTY LINE OF THE NORTHERN ILLINOIS GAS COMPANY PROPERTY RECORDED DECEMBER 27, 1960 AS DOCUMENT 991698 IN THE NORTHWEST 1/4 OF SECTION 25, TOWNSHIP 39 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN; THENCE SOUTH 0 DEGREES 07 MINUTES 59 SECONDS EAST ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 200 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 0 DEGREES 07 MINUTES 59 SECONDS EAST ALONG SAID EAST RIGHT OF WAY LINE A DISTANCE OF 110 FEET; THENCE NORTH 16 DEGREES 05 MINUTES 14 SECONDS EAST A DISTANCE OF 57.28 FEET; THENCE NORTH 16 DEGREES 21 MINUTES 12 SECONDS WEST A DISTANCE OF 57.28 FEET, TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

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6. 6 FOOT PUBLIC UTILITIES AND DRAINAGE EASEMENT, AS SHOWN ON PLAT OF 711 JORIE BOULEVARD SUBDIVISION RECORDED AS DOCUMENT NUMBER R78-109620.

7. BUILDING SETBACK LINES, AS SHOWN ON PLAT OF 711 JORIE BOULEVARD SUBDIVISION RECORDED AS DOCUMENT NUMBER R78-109620, AS FOLLOWS:

30 FEET ALONG THE NORTH LINE, 100 FEET ALONG THE WEST LINE 150 FEET ALONG THE SOUTHERLY AND SOUTHEASTERLY LINES, AND A 150 FOOT BUILDING SETBACK LINE, LYING ON THE EASTERLY LINE OF THAT PART OF LOT 1, LYING WEST OF THE EASTERLY LINE APPROXIMATELY OF SALT CREEK.

8. AGREEMENT BETWEEN BUTLER COMPANY AND NORTHERN ILLINOIS GAS COMPANY AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, DATED DECEMBER 27, 1960 AND RECORDED JANUARY 19, 1961 AS DOCUMENT 993993, WHEREIN BUTLER COMPANY IS GRANTED AN EASEMENT OVER THE LAND AND OTHER PROPERTY FOR LANDSCAPING PURPOSES AND FREE ACCESS THERETO FOR CONSTRUCTION, RECONSTRUCTION, MAINTENANCE, REPAIR AND USE BY IT AND OTHER OF SERVICE AND PRIVATE DRIVES AND AREAS FOR PARKING OF VEHICLES INCLUDING THE PAVING AND IMPROVING OF SUCH SURFACE AREAS FOR SAID PURPOSES AND NO OTHER PURPOSES, TOGETHER WITH THE TERMS, PROVISIONS AND CONDITIONS CONTAINED THEREIN.

9. AGREEMENT CONCERNING LAND FOR A PERMANENT EASEMENT, DATED AUGUST 26, 1976 AND RECORDED FEBRUARY 14, 1977 AS DOCUMENT R77-10652, MADE BY NORTHERN ILLINOIS GAS COMPANY TO THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, GRANTING THE RIGHT, PRIVILEGE AND EASEMENT TO SAID DEPARTMENT, ITS CONTRACTORS AND ENGINEERS, TO ENTER UPON THE PROPERTY SHOWN IN THE EXHIBIT ATTACHED THERETO, FOR THE PURPOSE OF CONSTRUCTING A PERMANENT PAVEMENT, AND ALL APPURTENANCES THERETO.

10. GRANT OF EASEMENT CONTAINED IN PARAGRAPH 2 (A) ONLY OF THAT CERTAIN DEED FROM BUTLER COMPANY, AN ILLINOIS CORPORATION, TO VILLAGE OF OAK BROOK, DATED NOVEMBER 1, 1977 AND RECORDED NOVEMBER 8, 1977 AS DOCUMENT R77-103174, GRANTING AN EASEMENT FOR EAST BANK OF SALT CREEK, OVER THE FOLLOWING DESCRIBED PROPERTY, KNOWN AS "EASEMENT J": COMMENCING AT THE MOST SOUTHERLY CORNER OF JORIE BOULEVARD, AS DEDICATED IN CORPORATE PLAZA SUBDIVISION UNIT ONE, AS PER PLAT THEREOF RECORDED OCTOBER 14, 1970 AS DOCUMENT R70-37311, AND

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VACATED PER PLAT OF VACATION RECORDED APRIL 28, 1972 AS DOCUMENT R72-21725; THENCE NORTH AND EAST ALONG THE SOUTHERLY LINES OF JORIE BOULEVARD, AS DEDICATED PER DOCUMENT NO. R70-37311, THE FOLLOWING 3 CURVES, COURSES AND DISTANCES; (1) NORTHEASTERLY ALONG AN ARC OF A CIRCLE, BEING CONVEX TO THE NORTHWEST, HAVING A RADIUS OF 474 FEET, THE CHORD THEREOF HAVING A BEARING OF NORTH 63 DEGREES 00 MINUTES 55 SECONDS EAST AND A LENGTH OF 428.48 FEET, AN ARC-DISTANCE OF 444.60 FEET TO A POINT OF TANGENCY; (2) THENCE NORTH 89 DEGREES 53 MINUTES 10 SECONDS EAST, A DISTANCE OF 1647.75 FEET TO A POINT OF CURVATURE; (3) THENCE NORTHEASTERLY ALONG AN ARC OF A CIRCLE, BEING CONVEX TO THE SOUTHEAST, HAVING A RADIUS OF 574 FEET, THE CHORD THEREOF HAVING A BEARING OF NORTH 59 DEGREES 03 MINUTES 46 SECONDS EAST AND A LENGTH OF 588.23 FEET, AN ARC-DISTANCE OF 617.59 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 77 DEGREES 30 MINUTES 42 SECONDS EAST, A DISTANCE OF 254.41 FEET; THENCE NORTH 68 DEGREES 11 MINUTES 47 SECONDS EAST, A DISTANCE OF 289.97 FEET; THENCE SOUTH 61 DEGREES 53 MINUTES 15 SECONDS EAST, A DISTANCE OF 174.11 FEET; THENCE NORTH 3 DEGREES 38 MINUTES 31 SECONDS EAST, A DISTANCE OF 523.54 FEET, MORE OR LESS, TO A POINT ON A LINE WHICH POINT IS 413.98 FEET SOUTH 8 DEGREES 09 MINUTES 30 SECONDS WEST OF A POINT ON THE SOUTH LINE OF LOT 14 IN NORTHERN ILLINOIS GAS COMPANY, YORK TOWNSHIP ASSESSMENT PLAT NO. 1, PER PLAT THEREOF RECORDED AUGUST 4, 1964 AS DOCUMENT R64-28042, SAID POINT ON SAID SOUTH LINE, BEING 696.34 FEET NORTH 89 DEGREES 37 MINUTES 00 SECONDS EAST OF THE NORTHEAST CORNER OF JORIE BOULEVARD, AS DEDICATED IN CORPORATE PLAZA SUBDIVISION UNIT ONE, AFORESAID; THENCE NORTH 8 DEGREES 09 MINUTES 30 SECONDS EAST, A DISTANCE 413.98 FEET TO A POINT ON THE SOUTH LINE OF LOT 14 IN NORTHERN ILLINOIS GAS COMPANY, YORK TOWNSHIP ASSESSMENT PLAT NO. 1, AFORESAID; THENCE SOUTH 89 DEGREES 37 MINUTES 00 SECONDS WEST ALONG SAID SOUTH LINE, A DISTANCE OF 696.34 FEET TO THE NORTHEAST CORNER OF JORIE BOULEVARD, AFORESAID; THENCE SOUTHERLY ALONG THE EASTERLY LINE OF JORIE BOULEVARD AS DEDICATED PER DOCUMENT NO. R70-37311, THE FOLLOWING 2 COURSES, CURVES AND DISTANCES; (1) SOUTH 0 DEGREES 07 MINUTES 59 SECONDS EAST, A DISTANCE OF 625.34 FEET TO A POINT OF TANGENCY; (2) THENCE SOUTHWESTERLY ALONG AN ARC OF A CIRCLE, BEING CONVEX TO THE SOUTHEAST, HAVING A RADIUS OF 574 FEET, THE CHORD THEREOF HAVING A BEARING OF SOUTH 14 DEGREES 03 MINUTES 12 SECONDS WEST, AND A LENGTH OF 281.35 FEET, AN ARC-DISTANCE OF 284.24 FEET TO THE POINT OF BEGINNING, (EXCEPT THAT PART THEREOF LYING WEST OF THE CENTERTHREAD OF SALT CREEK), IN DUPAGE COUNTY, ILLINOIS, AND AS SHOWN AS EASEMENT J ON PLAT OF 711 JORIE BOULEVARD SUBDIVISION, RECORDED AS DOCUMENT R78-109620.

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11. EASEMENT MADE BY CHICAGO TITLE AND TRUST COMPANY, AS TRUSTEE UNDER TRUST NUMBER 10-71950, TO THE COMMONWEALTH EDISON COMPANY DATED DECEMBER 28, 1979 AND RECORDED JULY 2, 1980 AS DOCUMENT R80-37748 TO INSTALL AND MAINTAIN ALL EQUIPMENT FOR THE PURPOSE OF SERVING THE LAND AND OTHER PROPERTY WITH ELECTRIC SERVICE, TOGETHER WITH RIGHT OF ACCESS TO SAID EQUIPMENT IN, UPON, UNDER, OVER AND ALONG THE LAND AS SHOWN ON EXHIBIT A ATTACHED THERETO.

12. RIGHTS, IF ANY, OF PUBLIC AND QUASI-PUBLIC UTILITIES IN THE LAND AS DISCLOSED BY STORM STRUCTURES AND TRANSFORMER PADS.

13. ENCROACHMENT OF THE FENCE LOCATED MAINLY ON THE PROPERTY SOUTHERLY AND ONTO THE LAND BY APPROXIMATELY 1.6 FEET.

14. (A) TERMS, PROVISIONS, AND CONDITIONS RELATING TO THE EASEMENT DESCRIBED AS PARCEL 2 CONTAINED IN THE INSTRUMENT CREATING SAID EASEMENT.

(B) RIGHTS OF THE ADJOINING OWNER OR OWNERS TO THE CONCURRENT USE OF SAID EASEMENT.

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FILED FOR RECORD IN RECORDERS
OFFICE OF DUPage COUNTY, ILLINOIS

DEC 27 1960 AM 4 35 PM

BOOK 160 PAGE 298

BOOK 1012 PAGE 371

Philip H. Butler
RECORDERGRANT OF EASEMENT

NORTHERN ILLINOIS GAS COMPANY, an Illinois corporation with principal offices in Aurora, Illinois (hereinafter referred to as "Grantor") for and in consideration of the grant and conveyance to it of the following described premises by BUTLER COMPANY, an Illinois corporation, and for Ten Dollars (\$10.00) and other good and valuable considerations, does hereby give and grant unto said Butler Company, its successors and assigns, a permanent and perpetual easement over, across and upon the surface of the following described premises:

All that tract of land situated in the north half of Sections 25 and 26, Township 39 North, Range 11 East of the Third Principal Meridian, being more fully described as follows, to wit: Commencing at the northwest corner of the Northeast Quarter of Section 25; thence south $00^{\circ}00'00''$ east, along the west line of the Northeast Quarter of Section 25, a distance of 75 feet to a point for a place of beginning; thence north $89^{\circ}44'42''$ east, parallel with and 75 feet south (measured at right angles) of the north line of Section 25, a distance of 1,555.33 feet to a point; thence south $70^{\circ}54'38''$ east, a distance of 103.21 feet to a point; thence south $89^{\circ}45'33''$ east, a distance of 363.75 feet to a point on the westerly right of way line of the Northern Illinois Toll Highway (Tri-State Route); thence south $36^{\circ}26'40''$ west, a distance of 92.95 feet to a point, said point being 82-1/2 feet, measured radially, westerly of the westerly right of way of the Northern Illinois Toll Highway (Tri-State Route); thence north $89^{\circ}45'33''$ west, a distance of 321.30 feet to a point; thence north $70^{\circ}54'38''$ west, a distance of 102.88 feet to a point; thence south $89^{\circ}44'42''$ west along a line which is parallel with and 150 feet south of (measured at right angles) the north line of said Section 25, a distance of 1,542.88 feet to a point on the west line of the Northeast Quarter of Section 25; thence south $89^{\circ}36'25''$ west along a line which is parallel with and 150 feet south of (measured at right angles) the north line of said Section 25, a distance of 3,191.07 feet to a point; thence south $87^{\circ}10'39''$ west along a line which is parallel with and 75 feet south of the south line of Illinois Toll Highway Permanent Easement Parcel No. T-6A-139.11, a distance of 110.63 feet to a point; thence south $88^{\circ}53'58''$ west along a line still parallel with and 75 feet south of (measured at right angles) the south line of the Illinois Toll Highway Permanent Easement Parcel No. T-6A-139.11, a distance of 166.70 feet to a point; thence north $26^{\circ}34'29''$ west, a distance of 83.07 feet to a point on the south line of Illinois Toll Highway Permanent Easement Parcel No. T-6A-139.11; thence north $88^{\circ}53'58''$ east and along said southerly right of way of the Northern Illinois Toll Highway Permanent Easement Parcel No.

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T-6A-139, II, a distance of 201.30 feet to a point; thence north 87°10'39" east still along said southeasterly line of Illinois Toll Highway Permanent Easement Parcel No. T-6A-139, II, a distance of 111.09 feet to a point; thence north 89°36'25" east along a line which is 75 feet wide of (measured at right angles thereto) and parallel with the north line of Section 25, a distance of 3,193.17 feet to a point on the east line of the west half of Section 25, being the place of beginning, excepting that part dedicated for highway purposes in York Road;

which easement shall be appurtenant to all land now owned by said Butler Company and lying adjacent to and adjoining said premises, which easement shall be for the following purposes:

- (a) Landscaping said premises;
- (b) Seeding, planting, cultivating and maintaining vegetation thereon; and
- (c) Construction, operation, reconstruction, repair, maintenance and use of public and private roads and driveways and parking areas, golf courses, polo fields and other sport and recreational areas, including the right to pave and otherwise improve such surface areas across and upon said premises;

all of which rights shall be subject to the rights of Grantor to construct, maintain, replace and operate gas pipelines and necessary appurtenances thereto beneath the surface of said premises and further reserving to Grantor all other rights and interests in said premises not inconsistent with the easement herein granted.

IN WITNESS WHEREOF, said Grantor has caused this instrument to be executed by its duly authorized representatives this 27th day of

December, 1960.

NORTHERN ILLINOIS GAS COMPANY

By [Signature]
Vice President



[Signature]
Notary Secretary

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STATE OF ILLINOIS)
) 188
COUNTY OF COOK)

I, William R. Boston, a Notary Public in and for
said County and State, do hereby certify that C. J. GUTHER
and S. E. TORRES personally known to me to be the
same persons whose names are subscribed to the foregoing instrument
as Vice President and Secretary respectively of the Northern Illinois Gas
Company, a corporation of Illinois, appeared before me this day in person
and acknowledged that they signed, sealed with the corporate seal, and
delivered the said instrument as their own free and voluntary act and as
the free and voluntary act of said company for the uses and purposes
therein set forth and that they were duly authorized to execute said in-
strument by the Board of Directors of said company.

GIVEN under my hand and seal this 27th day of December



William R. Boston
Notary Public

My Commission expires:
OCTOBER 5, 1960

Please Deposit Check in: Zoning Account 10-4302

For:

711 Jorie Boulevard - VAR - Parking Regulations

NOTE: 1 check(s) - Total \$ **1600**

Please return receipt(s) to Gail

Thanks

MISCELLANEOUS PAYMENT RECPT#: 517075
VILLAGE OF OAK BROOK
1200 OAK BROOK ROAD
OAK BROOK IL 60523

DATE: 04/16/19 TIME: 13:05
CLERK: reception DEPT:
CUSTOMER#: 0

INFO: 711 JORIE-VAR-PARKIN

4302 ZONING/SUBDIVIS 1600.00

AMOUNT PAID: 1600.00

PAID BY: THE LAW OFFICES OF L
PAYMENT METH: CHECK
8496

REFERENCE:

AMT TENDERED: 1600.00
AMT APPLIED: 1600.00
CHANGE: .00

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MEMORANDUM TO: Tom Theobald
Exeter Property Group

FROM: Michael A. Werthmann, PE, PTOE
Principal

DATE: April 19, 2018

SUBJECT: Parking Study
711 Jorie Boulevard Office Development
Oak Brook, Illinois

This memorandum summarizes the results of a parking study conducted by Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) for the existing 711 Jorie Boulevard office development located in the southeast quadrant of the intersection of 22nd Street with Jorie Boulevard in Oak Brook, Illinois. The office development has a total of 219,932 gross square feet of space including the 71,748 square-foot basement, which is primarily used for maintenance and storage. According to the owner, approximately 80 percent of the office development is occupied. The office development has a total of 616 parking spaces with access provided via one access drive on Jorie Boulevard at the south end of the site. **Figure 1** shows the location of the office development in relation to the area roadway system and **Figure 2** shows an aerial view of the office development.

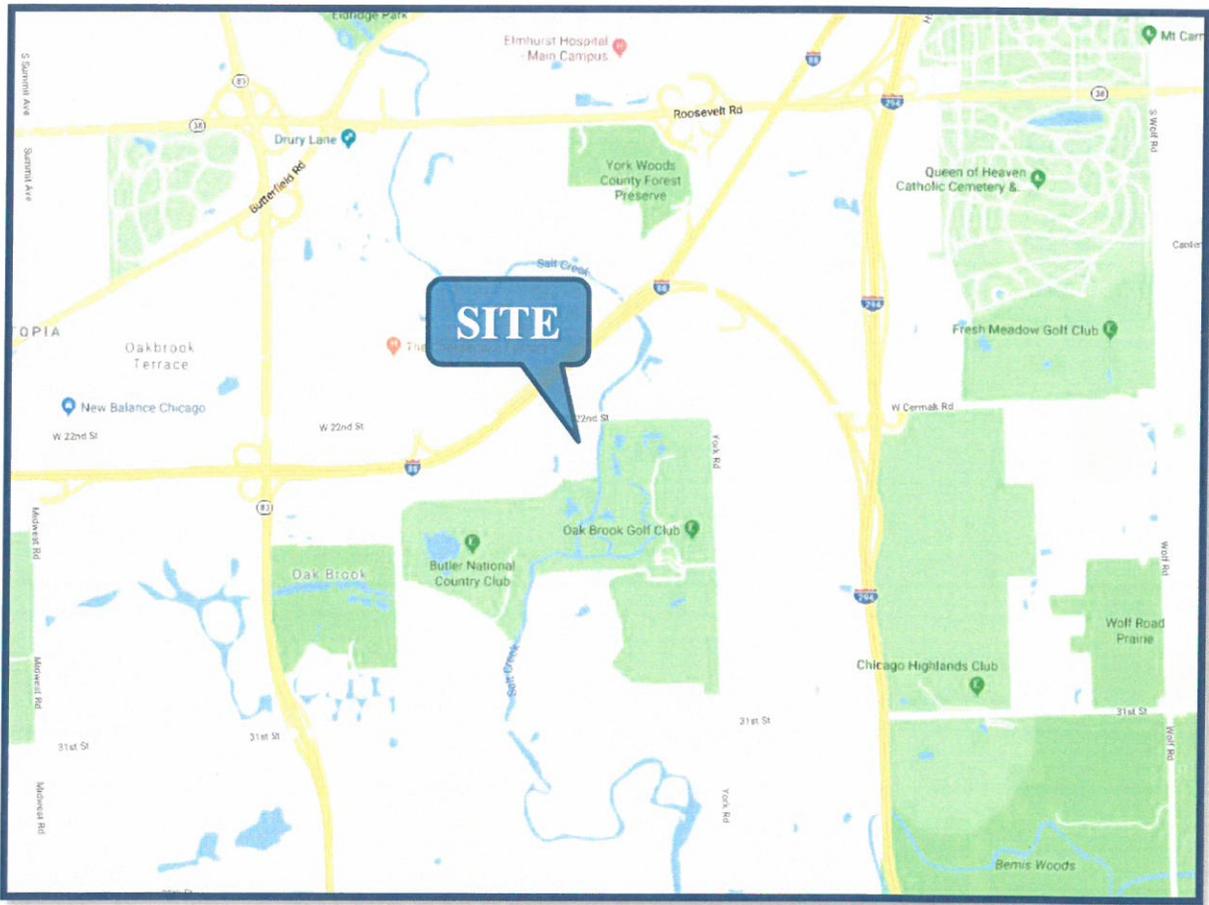
As proposed, the existing parking lot is to be modified and expanded to provide a total of 140 parking spaces. The additional parking spaces are proposed to be located along the north side and portions of the west side of the parking lot and in front of the office building. In addition, a restricted right-turn in and right-turn out access drive is proposed on 22nd Street approximately 350 feet east of Jorie Boulevard.

This study was conducted to assess the existing parking demand of the office development, estimate the parking demand of the office development at full occupancy, and determine if sufficient parking will be provided to accommodate the peak demands of the office development.

Existing Conditions

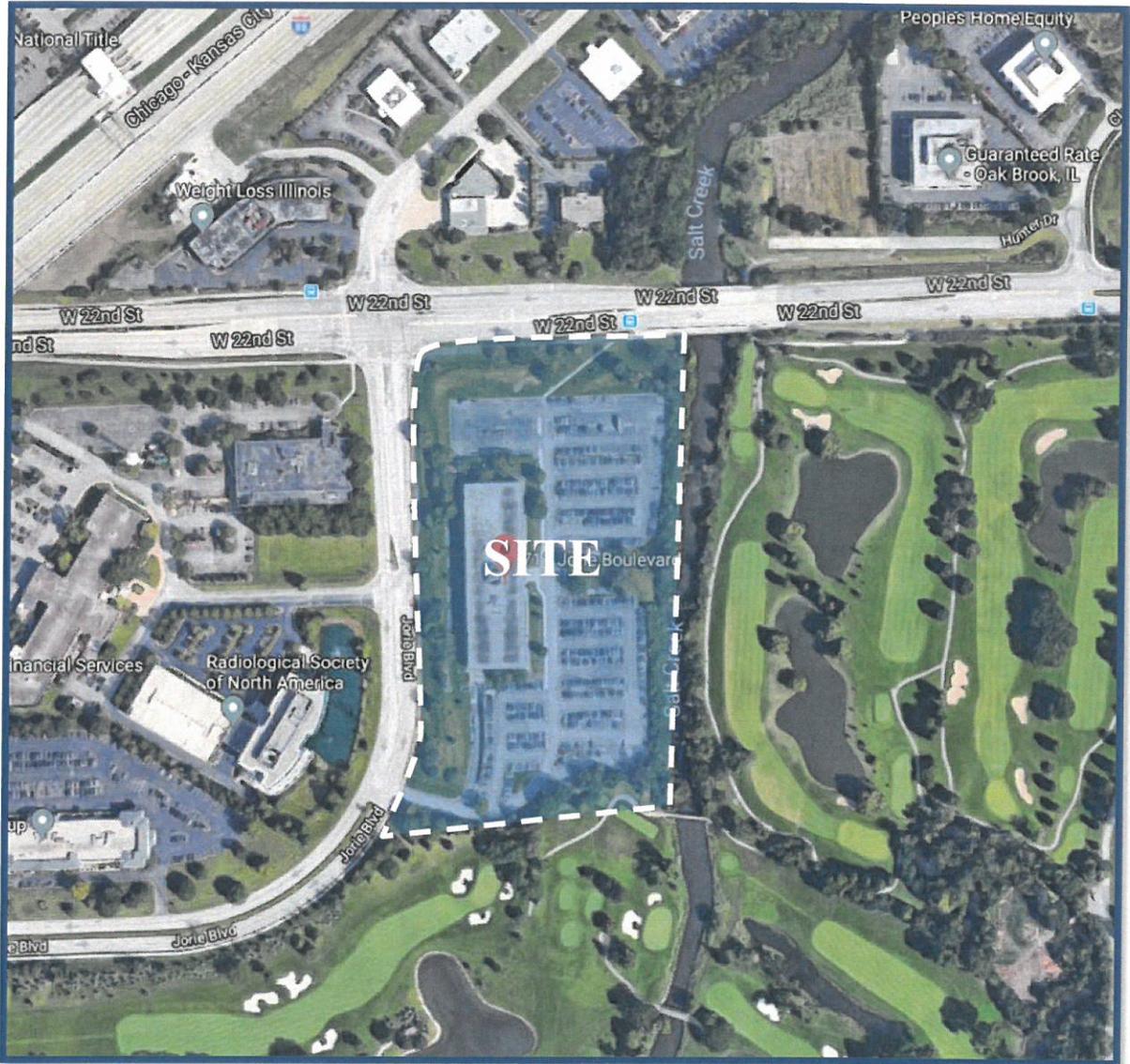
Existing Parking Inventory

The existing office development contains a total of 616 parking spaces that are generally located along the north, east, and south sides of the office building. Currently, the office development provides a combination of reserved and non-reserved parking spaces as summarized in **Table 1**. Access to the parking lot is provided via a single access drive on Jorie Boulevard at the south end of the site.



Site Location

Figure 1



Aerial View of Site

Figure 2

Table 1
EXISTING PARKING INVENTORY

Type of Space	Number of Spaces
Non-Reserved Spaces	582
Handicap Spaces	13
Reserved Spaces (General)	12
Reserved Spaces (Superior Carriers, Inc.)	4
Reserved Spaces (Expectant Mothers)	4
Security	<u>1</u>
Total	616

Existing Parking Demand

In order to determine the existing parking demand of the office development, parking occupancy surveys were conducted every ½ hour from 9:00 A.M. to 5:00 P.M. on Tuesday, April 10, 2018. It should be noted that approximately 20 percent of the office development was vacant when the parking surveys were performed. The results of the parking inventory and occupancy surveys are shown in **Table 2**.

The peak parking demand of the office development occurred at 11:00 A.M. with a total of 536 parked vehicles. In addition, the office development had over 530 parked vehicles at 2:00 P.M. and 2:30 P.M. A maximum of approximately 87 percent of the parking spaces were occupied at several different times during the day. A minimum of 80 parking spaces were available at any time.

A parking system operates at maximum efficiency when the system is operating at less than full capacity as the excess parking reduces the searching for available parking, allows for operating fluctuations, vehicle maneuvers, and vacancies created by reserving spaces for certain users and accounts for lost parking due to mis-parked vehicles, snow cover, etc. As such, most parking lots and facilities have a minimum effective parking supply of 95 percent of the total capacity. Therefore, assuming a peak parking demand of 536 vehicles and occupancy of 87 percent, only eight percent of the spaces (50 parking spaces) are available for the unoccupied space in the office development.

Table 2
 711 JORIE BOULEVARD OFFICE DEVELOPMENT PARKING SURVEYS
 TUESDAY, APRIL 10, 2018

Time	Vehicles						Total
	Non-Reserved Spaces	Handicap Spaces	Reserved Spaces - General	Reserved Spaces - Expectant Mothers	Reserved Spaces - Superior Carriers	Security Space	
Inventory	582	13	12	4	4	1	616
9:00 A.M.	473	5	8	3	3	1	493
9:30 A.M.	498	5	8	3	3	1	518
10:00 A.M.	492	5	10	2	3	1	513
10:30 A.M.	499	5	9	2	3	1	519
11:00 A.M.	514	6	10	2	3	1	536
11:30 A.M.	498	6	10	2	2	1	519
12:00 P.M.	464	6	10	3	2	0	485
12:30 P.M.	467	5	9	2	2	0	485
1:00 P.M.	495	5	7	2	2	1	512
1:30 P.M.	502	5	5	3	2	0	517
2:00 P.M.	518	5	6	3	2	0	534
2:30 P.M.	515	5	7	3	2	0	532
3:00 P.M.	474	4	7	3	2	0	490
3:30 P.M.	445	3	7	3	2	0	460
4:00 P.M.	354	3	6	3	1	0	367
4:30 P.M.	289	3	6	3	1	0	302
5:00 P.M.	220	3	5	2	1	0	231

Projected Parking Demand

Proposed Parking Inventory

The existing parking lot is proposed to be modified and expanded to provide a total of 140 additional parking spaces located along the north side and portions of the west side of the parking lot and in front of the office development. With the expansion of the parking lot, a total of 756 parking spaces will be provided. Assuming a minimum effective parking supply of 95 percent, the parking lot will have an effective parking supply of approximately 718 parking spaces. **Table 3** illustrates the proposed parking supply.

Table 3
PROPOSED PARKING INVENTORY

	Number of Spaces
Existing Parking Spaces	616
Proposed Parking Spaces	<u>140</u>
Total	756
Effective Parking Supply (95%)	718

Projected Parking Demand at Full Occupancy

Currently, approximately 20 percent of the office development is vacant. The parking to be generated by the vacant office space was estimated based on the observed peak parking demand of the existing office development. **Table 4** shows the existing peak parking demand and the projected peak parking demand at full occupancy as well as the total parking supply and the effective parking supply.

Table 4
PROJECTED PARKING DEMAND

	Vehicles
Existing Parking Demand	536
Additional Parking Demand of Vacant Space	<u>134</u>
Total Projected Parking Demand	670
Total Parking Supply	756
Effective Parking Supply (95%)	718

From Table 4 it can be seen that the office development is projected to have a peak parking demand of approximately 670 vehicles at full occupancy. With a total of 616 parking spaces, the existing parking lot is not sufficient to meet the peak parking demand of the office development at full occupancy. The 140 additional parking spaces to be provided as part of the parking lot modifications and expansion are required to accommodate the peak parking demand of the office development. The 756 total parking spaces and the effective parking supply of 718 parking spaces will be sufficient to meet the peak parking demand of the office development at full occupancy.

Village of Oak Brook Parking Requirements

KLOA, Inc. also determined the parking requirements of the office development based on the Village of Oak Brook Zoning Ordinance. According to the zoning ordinance, the following parking spaces are required for office developments:

- Offices, business, professional, administrative, and public (other than medical and dental clinics and offices of physicians and dentists) require one parking space for each 300 square feet of floor area.
- Medical and dental clinics and offices of physicians and dentists require one parking space for each 200 square feet of floor area.

Table 5 shows the required parking assuming both general office space and medical/dental office space with and without the basement. From Table 5 it can be seen that the existing 616 parking spaces only meets the minimum parking requirements assuming the general office requirements and excluding the basement.

Table 5
VILLAGE OF OAK BROOK PARKING REQUIREMENTS

	General Office Space	Medical/Dental Office Space
Office Building Excluding Basement	494	741
Office Building Including Basement	733	1,100



33 NORTH LASALLE STREET, 28TH FLOOR CHICAGO, ILLINOIS 60602
BRIAN P. LISTON (312) 580-1594 PETER TSANTILIS (312) 604-3808 FACSIMILE (312) 580-1592
May 2, 2019

VIA EMAIL DELIVERY

Zoning Board of Appeals
Village of Oak Brook
1200 Oak Brook Road
Oak Brook, IL 60523

RE: Traffic Impact Study - 711 Jorie Blvd.

Dear Members of the Zoning Board Appeals:

Exeter 711 Jorie, LLC (“Applicant”) recently purchased the property located at 711 Jorie Boulevard, Oak Brook, Illinois 60523 (PIN: 06-25-101-001) (“Applicant’s Property”) which abuts property owned by Nicor running along 22nd Street (PIN: 06-25-100-003) (“Nicor’s Property”) (collectively, the “Subject Property”) and respectfully requests the Village of Oak Brook (the “Village”) to support and approve its proposed development on the Subject Property and the requested variations to the zoning code in regards to the parking along 22nd Street.

Applicant proposed parking lot includes a secondary access point to be added along 22nd Street approximately 475 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The proposed access drive will be approximately 26 feet wide and provide one inbound lane and one outbound lane with the outbound lane under stop sign control. With the proposed access drive, office-generated traffic traveling to and from the east on 22nd Street will be able to directly access the office development and will not have to traverse Jorie Boulevard, reducing congestion at the intersection of Jorie Boulevard and 22nd Street. Applicant employed Kenig, Lindgren, O’Hara, Aboona, Inc. (“KLOA”) to conduct a Traffic Impact Study which found that the secondary access to the office development will reduce the traffic traversing Jorie Boulevard, enhancing the operations of the intersection of 22nd Street and Jorie Boulevard. KLOA’s capacity analyses show that the existing intersections are currently operating at a good level of service and are projected to continue operating at a good level of service assuming the projected traffic volumes and the proposed access drive. As such, the roadway system and access drives have sufficient reserve capacity to accommodate the projected traffic volumes over the next 5 years and the proposed access drive. KLOA found that no roadway improvements are required to 22nd Street.

Although the enclosed analysis was performed when the proposed access drive was planned to be 350 feet east of the intersection of 22nd Street with Jorie Boulevard, the drive is now planned to be an additional 125 feet further east. The additional space will ensure that there will be no congestion caused by the construction of the right-in, right-out access drive along 22nd Street.

Enclosed you will find KLOA’s summary of the Traffic Impact Study. To view the full report including all the statistical analysis or if you have questions or concerns, please contact me at (312) 604-3818 or tgoodwyn@tlawchicago.com.

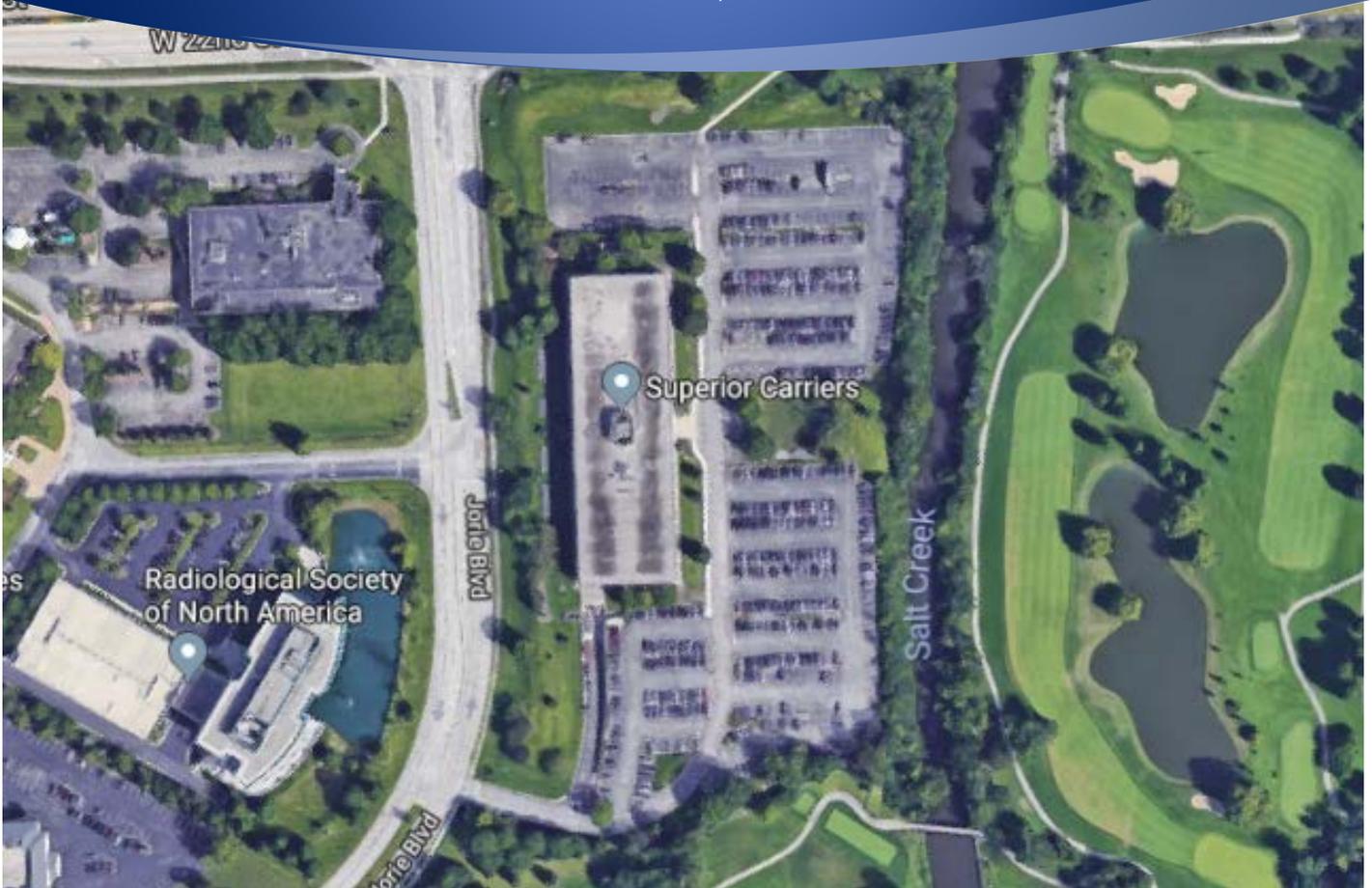
Regards,

Thomas Goodwyn

Encls.

Traffic Impact Study 711 Jorie Boulevard Office Development Proposed 22nd Street Access Drive

Oak Brook, Illinois



Prepared For:

Tom Theobald
Exeter Property Group



April 25, 2018

1. Introduction

This report summarizes the methodologies, results, and findings of a traffic impact study conducted by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) for a proposed restricted right-turn in/right-turn out access drive on 22nd Street serving the 711 Jorie Boulevard office development in Oak Brook, Illinois. The approximate 219,932 square-foot office development is located in the southeast quadrant of the intersection of 22nd Street with Jorie Boulevard. Currently, access to the office development is provided via a single access drive located on Jorie Boulevard at the south end of the site or approximately 990 feet south of 22nd Street. The office development has a total of 616 parking spaces.

Figure 1 shows the location of the office development in relation to the area roadway system and **Figure 2** shows an aerial view of the site.

As part of the proposed modifications and expansion of the parking lot, secondary access is proposed to be provided via a new access drive on 22nd Street. As proposed, the access drive will be located on the south side of 22nd Street approximately 350 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The access drive is proposed to provide one inbound lane and one outbound lane with the outbound lane under stop sign control.

The purpose of this study was to examine background traffic conditions, assess the impact that the proposed access drive will have on traffic conditions in the area, and determine if any roadway improvements or access changes are necessary to accommodate the proposed access drive.

The sections of this report present the following:

- Existing roadway conditions
- A description of the existing office development and the proposed access drive
- Directional distribution of the office development traffic
- Vehicle trip generation for the vacant space in the office development
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to adequacy of the access and adjacent roadway system

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

The office development is located in the southeast quadrant of the intersection of 22nd Street with Jorie Boulevard. Land uses in the area generally include office and commercial developments. The Oak Brook Golf Club and Butler National Country Club are located directly east and south of the site. Oak Brook Mall is located approximately ½ mile northwest of the site.

Existing Roadway System Characteristics

The characteristics of the existing roadways adjacent to the site are described below and illustrated in **Figure 3**.

22nd Street is an east-west, minor arterial roadway that has three through lanes in each direction separated by a barrier median. At its signalized intersection with Jorie Boulevard, 22nd Street has dual left-turn lanes, three through lanes, and a separate right-turn lane on both approaches. 22nd Street is under the jurisdiction of the Illinois Department of Transportation (IDOT), carries an annual average daily traffic (AADT) volume of 33,800 vehicles (IDOT AADT 2016), and has a posted speed limit of 40 miles per hour.

Jorie Boulevard is generally a north-south, major collector roadway that is aligned opposite Enterprise Drive at its intersection with 22nd Street. It has two through lanes in each direction divided by a median. At its intersection with 22nd Street, the Jorie Boulevard approach has a separate left-turn lane, a shared through/left-turn lane, and dual right turn lanes and the Enterprise Drive approach has a separate left-turn lane, a shared through/left-turn lane, and a separate right-turn lane. Separate left-turn lanes are provided on Jorie Boulevard at its signalized intersection with the Jorie Plaza access road and the unsignalized intersection with the site access drive. Jorie Boulevard is under the jurisdiction of the Village of Oak Brook, carries an annual average daily traffic (AADT) volume of 7,600 vehicles (IDOT AADT 2016), and has a posted speed limit of 40 miles per hour.

Jorie Plaza access road is an east-west, local road serving Jorie Plaza and the 820 Jorie Boulevard office development and has one through lane in each direction. At its signalized intersection with 22nd Street, the access road provides a separate left-turn lane and a separate right-turn lane.

The *711 Jorie Boulevard office development access drive* is located approximately 990 feet south of 22nd Street. It provides one inbound lane and one outbound lane that is under stop sign control.

Existing Traffic Volumes

In order to determine current traffic conditions, KLOA, Inc. conducted peak period traffic counts utilizing MioVision Video Scout Collection Units on Tuesday, April 10, 2018 during the weekday morning (7:00 A.M. to 9:00 A.M.) and weekday evening (4:00 P.M. to 6:00 P.M.) peak periods at the following intersections:

- 22nd Street with Jorie Boulevard and Enterprise Drive
- Jorie Boulevard with Jorie Plaza access road
- Jorie Boulevard with 711 Jorie Boulevard office development access drive

The results of the traffic counts indicated that the weekday morning peak hour occurs from 7:45 A.M. to 8:45 A.M. and the weekday evening peak hour occurs from 4:30 P.M. to 5:30 P.M. **Figure 4** illustrates the existing peak hour traffic volumes. Copies of the traffic count summary sheets are included in the Appendix.

Crash Data

KLOA, Inc. obtained crash data from the Illinois Department of Transportation (IDOT) for the five most recent years of available crash data (2012 to 2016) for the intersection of 22nd Street with Jorie Boulevard. **Table 1** summarizes the crash data. No fatalities were reported at this intersection.

Table 1
22nd STREET WITH JORIE BOULEVARD – CRASH DATA

Year	Type of Accident Frequency						Total
	Angle	Object	Rear End	Sideswipe	Turning	Other	
2012	0	0	3	2	0	0	5
2013	0	1	3	0	1	1	6
2014	0	0	3	0	1	0	4
2015	0	1	6	0	2	0	9
2016	0	0	5	0	0	0	5
Total	0	2	20	2	4	1	29
Average/Year	0	<1.0	4.0	<1.0	<1.0	<1.0	5.8

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. The author is responsible for any data analyses and conclusions drawn.

3. Traffic Characteristics of the Office Development

To properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the existing office development and the proposed access drive.

Existing Office Development

The office development has a total of 219,932 gross square feet of space including the 71,748 square-foot basement, which is primary used for maintenance and storage. Currently, approximately 80 percent of the office development is occupied. Access to the office development is currently provided via a single access drive located on Jorie Boulevard at the south end of the site or approximately 990 feet south of 22nd Street. The office development has a total of 616 parking spaces.

As part of the proposed modifications and expansion of the parking lot, secondary access is proposed to be provided via a new access drive on 22nd Street. As proposed, the access drive will be located on the south side of 22nd Street approximately 350 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The access drive is proposed to provide one inbound lane and one outbound lane with the outbound lane under stop sign control.

Directional Distribution

The directions from which traffic approaches and departs the office development was estimated based on existing travel patterns, as determined from the traffic counts. **Figure 5** illustrates the directional distribution of the office-generated traffic.

Trip Generation Estimates

Approximately 20 percent of the office development is currently vacant. The traffic projected to be generated by the occupancy of the vacant space in the office development was estimated based on the existing traffic generated by the office development. **Table 2** shows the existing and projected peak hour traffic to be generated by the fully occupied office development.

Table 2
EXISTING AND PROJECTED OFFICE DEVELOPMENT TRAFFIC VOLUMES

	Weekday Morning Peak Hour			Weekday Evening Peak Hour		
	In	Out	Total	In	Out	Total
Existing Traffic Volumes	210	9	219	9	195	204
Occupancy of Vacant Space	<u>53</u>	<u>3</u>	<u>56</u>	<u>3</u>	<u>49</u>	<u>52</u>
Total	263	12	275	12	244	256

4. Projected Traffic Conditions

The total projected traffic volumes include the existing traffic volumes, reassignment of the existing traffic to account for the proposed access drive, increase in background traffic due to ambient growth, and the traffic estimated to be generated by the occupancy of the vacant space within the office development.

Reassignment of Existing Traffic

With the proposed access drive on 22nd Street, office-generated traffic traveling to and from the east on 22nd Street will be able to directly access the office development and will not have to traverse Jorie Boulevard to reach the site. The estimate of the existing traffic that will be redistributed to the proposed access drives was based on the existing traffic volumes. **Figure 6** illustrates the reassignment of the existing traffic volumes.

Development Traffic Assignment

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the occupancy of the vacant space within the office development were assigned to the roadway system in accordance with the previously described directional distribution (Figure 5). The traffic assignment for the traffic generated by the occupancy of the vacant office space is illustrated in **Figure 7**.

Background Traffic Conditions

The redistributed traffic volumes (Figure 6) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on ADT projections provided by the Chicago Metropolitan Agency for Planning (CMAP) in a letter dated April 17, 2018, the traffic traversing 22nd Street is projected to increase by approximately 0.2 percent per year and the traffic traversing Jorie Boulevard is projected to increase by approximately 0.6 percent per year. As such, the existing traffic volumes along 22nd Street were increased by 1.0 percent total and the existing traffic along Jorie Boulevard were increased by 3.0 percent total to project Year 2023 conditions. A copy of the CMAP 2040 projections letter is included in the Appendix.

Total Projected Traffic Volumes

The traffic generated by the vacant space was added to the redistributed traffic volumes accounting for background growth to determine the Year 2023 total projected traffic volumes, shown in **Figure 8**.

5. Traffic Analysis and Recommendations

The following provides an evaluation conducted for the weekday morning and evening peak hours. The analysis included conducting capacity analyses to determine how well the roadway system and access drives are projected to operate and whether any roadway improvements or modifications are required.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak hours for the existing (Year 2018) and future projected (Year 2023) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using the Synchro/SimTraffic 9 software. The analysis for the traffic-signal controlled intersections were accomplished using field measured cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized intersections and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and Year 2023 total projected conditions are presented in **Tables 3** through **6**. A discussion of the intersections follows. Summary sheets for the capacity analyses are included in the Appendix.

Discussion and Recommendations

The following summarizes how the intersections are projected to operate and identifies any roadway and traffic control improvements necessary to accommodate the development traffic.

22nd Street with Jorie Boulevard and Enterprise Drive

The results of the capacity analysis indicate that this intersection currently operates at a Level of Service (LOS) C during the morning peak hour and a LOS D during the evening peak hour. The 22nd Street left-turn movements and some of the Jorie Boulevard and Enterprise Drive movements are operating at a LOS E. This is due to the fact that 22nd Street is the major road at this intersection and the through movements receive the majority of the green time. Assuming the projected traffic volumes, the intersection is projected to continue to operate at a LOS C during the morning peak hour and a LOS D during the evening peak hour. In addition, all of the movements are projected to generally operate at the same level of service. As such, this intersection has sufficient reserve capacity to accommodate the projected traffic volumes and no improvements are required. It is important to note the volume of office-generated traffic traversing this intersection will be reduced with the installation of the proposed access drive, which will only improve the operation of the intersection, particularly the Jorie Boulevard approach.

Jorie Boulevard with Jorie Plaza Access Road

The results of the capacity analysis indicate that this intersection currently operates at a LOS A during the morning and evening peak hours. Further, all the movements operate at a LOS C or better during the morning and evening peak hours. Assuming the projected traffic volumes, the intersection is projected to continue to operate at a LOS A during the morning and evening peak hours and all of the movements are projected to continue to operate at a LOS C or better. As such, this intersection has sufficient reserve capacity to accommodate the projected traffic volumes and no improvements are required. It is important to note the volume of office-generated traffic traversing this intersection will be reduced with the installation of the proposed access drive, which will only improve the operation of the intersection.

Jorie Boulevard with Office Development Access Drive

The results of the capacity analysis indicate that the critical approaches/movements at this access drive currently operate at a LOS C or better during the morning and evening peak hours. Assuming the projected traffic volumes, the critical approaches/movements are projected to continue to operate at a LOS C or better during the morning and evening peak hours. As such, this intersection has sufficient reserve capacity to accommodate the projected traffic volumes and no improvements are required. It is important to note the volume of office-generated traffic traversing this intersection will be reduced with the installation of the proposed access drive, which will only improve the operation of the intersection.

22nd Street with Proposed Access Drive

As proposed, the access drive will be located on the south side of 22nd Street approximately 350 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The access drive is proposed to provide one inbound lane and one outbound lane with the outbound lane under stop sign control. The results of the capacity analysis indicate that the outbound right-turn movement will operate at a LOS A during the morning and evening peak hours. As such, the intersection will have more than sufficient capacity to accommodate the projected traffic volumes.

6. Conclusion

Based on the proposed development plans and the preceding traffic study, the following conclusions are made:

- Secondary access to the office development is proposed to be provided via an access drive on 22nd Street. As proposed, the access drive will be located on the south side of 22nd Street approximately 350 feet east of Jorie Boulevard and will be restricted to right-turn in and right-turn out movements only. The access drive is proposed to provide one inbound lane and one outbound lane with the outbound lane under stop sign control.
- With the proposed access drive on 22nd Street, office-generated traffic traveling to and from the east on 22nd Street will be able to directly access the office development and will not have to traverse Jorie Boulevard. As such, the office-generated traffic traversing Jorie Boulevard and its intersection evaluated as part of this study will be reduced with the installation of the proposed access drive, which will only enhance the operation of these intersections.
- Year 2023 projected traffic volumes were developed assuming the existing traffic volumes, the redistribution of the existing office-generated traffic to account for the proposed access drive, the additional traffic that will be generated by the occupancy of any vacant space in the office development, and future area growth.
- The results of the capacity analyses show that the existing intersections are currently operating at a good level of service and are projected to continue operating at a good level of service assuming the projected traffic volumes and the proposed access drive. As such, the roadway system and access drives have sufficient reserve capacity to accommodate the projected traffic volumes and the proposed access drive and no roadway improvements are required.



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

Location: 22nd Street and Enterprise Drive (SEC)
Municipality: Village of Oak Brook, DuPage County
Re: 711 Jorie Boulevard Office Development
Reference No.: 022-81775

September 7, 2018

Mr. Daniel C. Stevens, P.E.
Vice President
SPACECO, Inc.
9575 W. Higgins Road, Suite 700
Rosemont, IL 60018

Dear Mr. Stevens:

We have completed our review of your engineering plans for the subject location and offer the following:

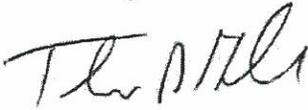
1. All ADA related items shall be designed and installed in accordance with the "ADA Standard for Accessible Design" guidebook. Prior to permit issuance, complete and return the enclosed "Municipality Sidewalk & ADA Acceptance Letter" with the local municipality sign off.
2. Utilize the enclosed "ADA Details for Phase I Projects" template to design all ADA-related facilities and include this detail pictorially for each location with all necessary spot grades to ensure compliance with the "ADA Standard for Accessible Design" guidebook.
3. Separate the "Stop" and "Right Turn Only" signs on individual posts.
4. Provide local approval from all applicable agencies in acceptance of the drainage improvements for your site.
5. For legibility reasons, revise your plans to include a maximum of four (4) IDOT Highway Standards per plan sheet.

Please revise your plans in accordance with the above comments and resubmit three (3) revised full size and 11"x17" copies of complete engineering plans along with a written disposition to all comments to continue the review process.

If you have any questions regarding this matter, please contact Jonathan Karabowicz at (847) 705-4149.

Very truly yours,

Anthony J. Quigley, P.E.
Region One Engineer

By: 
Thomas G. Gallenbach, P.E.
Traffic Permit Engineer

cc: Village of Oak Brook

RECEIVED

SEP 13 2018

SPACECO, Inc.

J



9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

August 31, 2018

VIA FEDEX

Mr. Jonathan Karabowicz, P.E.
Traffic Permit Engineer
Illinois Department of Transportation
201 W. Center Court
Schaumburg, IL 60196-1096

RE: IDOT REFERENCE No. 022-81775
22ND ST. AND ENTERPRISE DRIVE (SEC) – 711 JORIE BLVD OFFICE DEVELOPMENT
OAK BROOK, ILLINOIS
SPACECO PROJECT No. 10103.02

Dear Mr. Karabowicz:

Attached are the below documents for approval hard copies will be sent upon your request please find the following:

1. Three (3) – Site Improvement Plans for 711 Jorie Blvd-Phase 2 (36"x42")
2. Three (3) – Site Improvement Plans for 711 Jorie Blvd-Phase 2 (11"x17")

The following are responses to the July 3, 2018 comment letter from the IDOT:

TRAFFIC – PERMITS COMMENTS:

COMMENT 1: Please note that the location for your proposed access to 22nd Street will require light pole relocation in accordance with the enclosed "IDOT District 1 General Guidelines for Lighting Design."

RESPONSE 1: Light pole relocation will not be needed as the proposed access driveway was moved east and no longer conflicts with any existing poles.

COMMENT 2: Due to the severe parkway slope, the existing bike path will need to be readjusted in accordance with the "ADA Standard for Accessible Design" guidebook.

RESPONSE 2: The existing bike path is being modified. Please see new proposed bike path just east of the parkway. The bike path is in accordance with ADA standards.

COMMENT 3: Redesign your proposed access driveway so that the high point is located at the State right of way line.

RESPONSE 3: Noted. The highpoint of the access driveway is at the State right-of-way.

J.1

TRAFFIC PRGRAMS –STUDIES COMMENTS:

COMMENT 1: Shift the proposed right-in, right-out (RI-RO) access driveway as far east as possible to achieve at 500' spacing from the intersection of 22nd Street and Jorie Boulevard. An eastbound right turn lane will be required if this distance cannot be achieved.

RESPONSE 1: The access driveway was only shifted 475' east. The access cannot be shifted further because it would require the existing Bus Stop, Guard Rail, and Bridge to be impacted. A right turn lane is not feasible as it would require significant relocation of dry utilities, light poles, and signal improvements.

COMMENT 2: Provide a roadway striping plan sheet in your plans.

RESPONSE 2: A roadway striping plan is not provided as a right turn lane is not being proposed and there is an existing barrier median that prevents left turns.

If you have any questions, comments, or would like to meet to discuss the improvements, please contact me.

Sincerely,

SPACECO, Inc.

Daniel C. Stevens, P.E.
Vice President

Cc:
Thomas G. Gallenbach (IDOT) – email
Tom Theobald (Exeter) – email
Thomas Goodwyn (Liston & Tsantilis, P.C.) – email
Mike Werthman (KLOA, Inc.) – email



Illinois Department of Transportation

Office of Highways Project Implementation / Region 1 / District 1
201 West Center Court / Schaumburg, Illinois 60196-1096

PERMITS

Location: 22nd Street and Enterprise Drive (SEC)
Municipality: Village of Oak Brook, DuPage County
Re: 711 Jorie Boulevard Office Development
Reference No.: 022-81775

July 3, 2018

Mr. Daniel C. Stevens, P.E.
Vice President
SPACECO, Inc.
9575 W. Higgins Road, Suite 700
Rosemont, IL 60018

Dear Mr. Stevens:

We have completed our review of your Traffic Impact Study and preliminary geometric plan sheet for the subject location and offer the following:

Traffic Permits Comments

1. Please note that the location for your proposed access to 22nd Street will require light pole relocation in accordance with the enclosed "IDOT District 1 General Guidelines for Lighting Design."
2. Due to the severe parkway slope, the existing bike path will need to be readjusted in accordance with the "ADA Standard for Accessible Design" guidebook.
3. Redesign your proposed access driveway so that the high point is located at the State right of way line.

Traffic Programs – Studies Comments

1. Shift the proposed right-in, right-out (RI-RO) access driveway as far east as possible to achieve at least 500' spacing from the intersection of 22nd Street and Jorie Boulevard. An eastbound right turn lane will be required if this distance cannot be achieved.
2. Provide a roadway striping plan sheet in your plans.

Please revise your plans in accordance with the above comments and resubmit three (3) revised full size and 11"x17" copies of complete engineering plans along with a written disposition to all comments to continue the review process.

If you have any questions regarding this matter, please contact Jonathan Karabowicz at (847) 705-4149.

J.3

Location: 22nd Street and Enterprise Drive (SEC)
July 3, 2018
Page 2

Very truly yours,

Anthony J. Quigley, P.E.
Region One Engineer

By: 
Thomas G. Gallenbach, P.E.
Traffic Permit Engineer

Cc: Village of Oak Brook

Municipality Sidewalk and ADA Acceptance Letter

Upon completion of the permitted work, _____
(Describe work)

at _____, associated with permit number _____, the
(Physical Address / Location) (Permit Number, to be filled in by IDOT)

_____ Of _____, _____ accepts the long term
(Village, City, etc.) (State)

responsibility for the administration, control, reconstruction, and maintenance of the sidewalk and/or shared-use path and ADA related items associated with the aforementioned work on the right-of-way of the State Highway known as _____ Route _____, in _____ County, in accordance with the "ADA Standard for Accessible Design" guidebook, within the public right of way and along the frontage of the above address(es) / location(s).

(Municipality Representative Name)

(Municipality Representative Title)

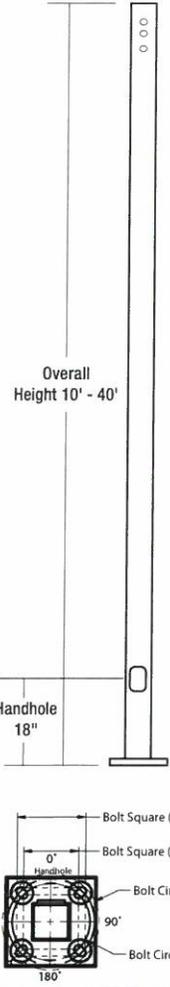
(Municipality Representative Signature)

(Date)

SSS-H SERIES POLES

SQUARE STRAIGHT STEEL

Cat.#	
Job	Type
Approvals	



APPLICATIONS

- Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

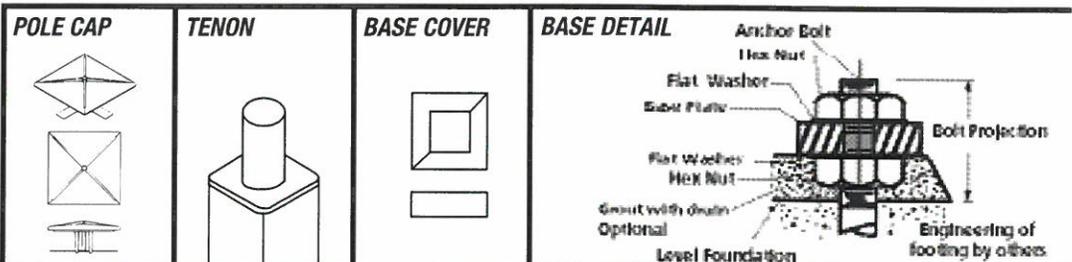
- SHAFT: One-piece straight steel with square cross section, flat sides and minimum 0.23" radius on all corners; Minimum yield of 46,000 psi (ASTM-A500, Grade B); Longitudinal weld seam to appear flush with shaft side wall; Steel base plate with axial bolt circle slots welded to pole shaft having minimum yield of 36,000 psi (ASTM A36)
- BASE COVER: Two-piece square aluminum base cover included standard
- POLE CAP: Pole shaft supplied with removable cover when applicable; Tenon and post-top configurations also available
- HAND HOLE: Rectangular 3x5 steel hand hole frame (2.38" x 4.38" opening); Mounting provisions for grounding lug located behind gasketed cover
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint prime applied over "white metal" steel substrate cleaned via mechanical shot blast method
- Decorative finish coat available in seven standard colors; Custom colors available; RAL number preferable; Internal protective coating available

WAREHOUSE 'STOCKED' POLES:

- SSSH20-40A-4-HV-DB-RDC, SSSH25-40A-4-HV-DB-RDC and SSSH30-50B-4-HV-DB-RDC
- The HV designation in the above catalog numbers is a combination drill pattern of the Hubbell Outdoor S2 pattern and the Beacon B3/B4 Viper pattern (rectangular arm mounting)



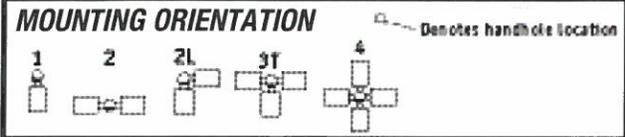
ORDERING INFORMATION

ORDERING EXAMPLE:

SSS - H - 25 - 40 - A/B/C - 2L - S2 - DB - UL

Reference page 2 for available configurations

SERIES	HEIGHT	SHAFT	THICKNESS	MOUNTING	DRILL PATTERN	FINISH	OPTIONS
SSS-H Square Straight Steel Pole Hubbell Outdoor	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	Reference page 2 Ordering matrix	1 Single arm mount 2 Two fixtures at 180° 2L Two fixtures at 90° 3T Three fixtures at 90° 4 Four fixtures at 90° TA Tenon (2.38" OD x 4" Tall) TB Tenon (2.88" OD x 4" Tall) TC Tenon (3.5" OD x 6" Tall) TR Removable Tenon (2.375 x 4.25) OT Open Top (includes pole cap)	S2 #2 2 bolt 3.5" pattern 	DB Dark Bronze Textured BL Black Textured WH White Textured GR Gray Textured PS Platinum Silver Smooth CC Custom Color	HSC Internal Coating (Hubbell Seal) GFI 20 Amp GFCI Receptacle and Cover EHH Extra Handhole C05 .5" Coupling C07 .75" Coupling C20 2" Coupling MPB Mid-pole Luminaire Bracket VM2 2nd mode vibration damper LAB Less Anchor Bolts UL UL Certified



ACCESSORIES- Order Separately

Catalog Number	Description
VM1 ¹	1st mode vibration damper
VM2SXX	2nd mode vibration damper

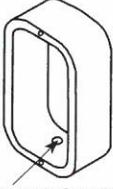
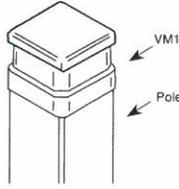
1 Removable tenon used in conjunction with side arm mounting. First specify desired arm configuration followed by the "TR" notation. Example: SSS-H-25-40-A-1-S2-TR-DB
 2 Specify option location using logic found on page 2 (Option Orientation)
 3 VM1 recommended on poles 20' and taller with EPA of less than 1.

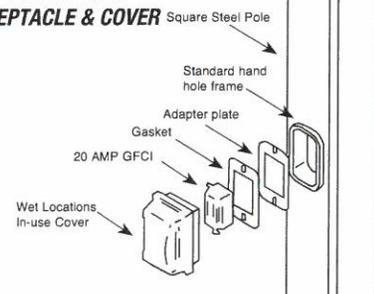
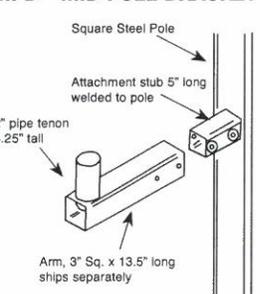
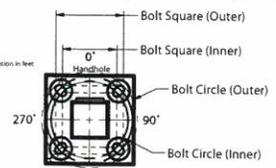
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ORDERING INFORMATION Cont.

Catalog Number	Height		Nominal Shaft Dimensions	Wall Thickness	Bolt Circle (suggested)	Bolt Circle (range)	Bolt Square (range)	Base Plate Square	Anchor bolt size	Bolt Projection	Pole weight
	Feet	Meters									
SSS-H-10-40-A-XX-XX	10	3.0	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	77
SSS-H-12-40-A-XX-XX	12	3.7	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	90
SSS-H-14-40-A-XX-XX	14	4.3	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	103
SSS-H-16-40-A-XX-XX	16	4.9	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	116
SSS-H-18-40-A-XX-XX	18	5.5	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	129
SSS-H-20-40-A-XX-XX	20	6.1	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	142
SSS-H-25-40-A-XX-XX	25	7.6	4" square	0.125"	9"	8" - 10"	5.66" - 7.07"	9"	3/4" x 30" x 3"	3.5	175
SSS-H-14-40-B-XX-XX	14	4.3	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	152
SSS-H-16-40-B-XX-XX	16	4.9	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	171
SSS-H-18-40-B-XX-XX	18	5.5	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	190
SSS-H-20-40-B-XX-XX	20	6.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	209
SSS-H-25-40-B-XX-XX	25	7.6	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	257
SSS-H-30-40-B-XX-XX	30	9.1	4" square	.188"	11"	10" - 12"	7.07" - 8.48"	10.50"	3/4" x 30" x 3"	3.5	304
SSS-H-16-50-B-XX-XX	16	4.9	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	219
SSS-H-18-50-B-XX-XX	18	5.5	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	243
SSS-H-20-50-B-XX-XX	20	6.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	267
SSS-H-25-50-B-XX-XX	25	7.6	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	327
SSS-H-30-50-B-XX-XX	30	9.1	5" square	.188"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	387
SSS-H-25-50-C-XX-XX	25	7.6	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	427
SSS-H-30-50-C-XX-XX	30	9.1	5" square	.25"	11"	10.25" - 13.25"	7.25" - 9.37"	11.50"	1" x 36" x 4"	4.5	507
SSS-H-20-60-B-XX-XX	20	6.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	329
SSS-H-25-60-B-XX-XX	25	7.6	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	404
SSS-H-30-60-B-XX-XX	30	9.1	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	479
SSS-H-35-60-B-XX-XX	35	10.7	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	554
SSS-H-40-60-B-XX-XX	40	12.2	6" square	.188"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	629
SSS-H-30-60-C-XX-XX	30	9.1	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	614
SSS-H-35-60-C-XX-XX	35	10.7	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	712
SSS-H-40-60-C-XX-XX	40	12.2	6" square	.25"	12"	11.00" - 13.25"	7.81" - 9.37"	12.25"	1-1/4" x 42" x 6"	5.0	809

NOTE: Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

<p>EHH - EXTRA HANDHOLE</p>  <p>Provision for Grounding</p>	<p>C05 - C07 - C20 - COUPLING</p>  <p>2" - 11.5 NPSC Threads 3/4" - 14 NPSC Threads 1/2" - 14 NPSC Threads</p>	<p>VM1 - VIBRATION DAMPER 1ST MODE</p>  <p>Field Installed Pole Top damper designed to reduce pole top deflection or sway. VM1 is recommended for pole systems 25' and taller with a total EPA of 1.0 or less.</p>	<p>VM2 - VIBRATION DAMPER 2ND MODE</p>  <p>Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>	<p>VM2SXX - VIBRATION DAMPER 2ND MODE</p>  <p>VM2S08 - 8' VM2S12 - 12' VM2S16 - 16' VM2S20 - 20' VM2S24 - 24'</p> <p>Field installed, internal damper designed to alter pole resonance to reduce movement and material fatigue caused by 2nd mode vibration.</p>
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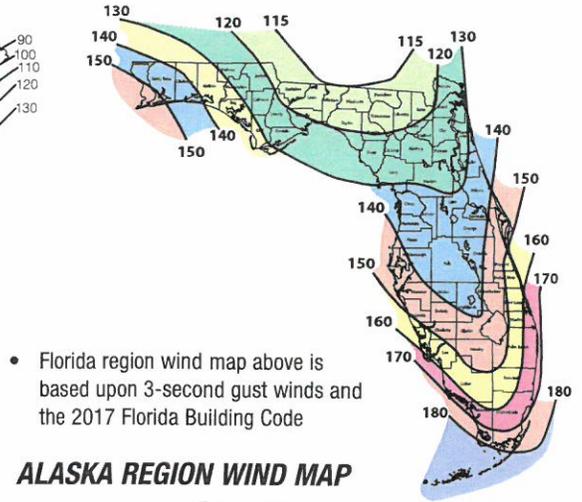
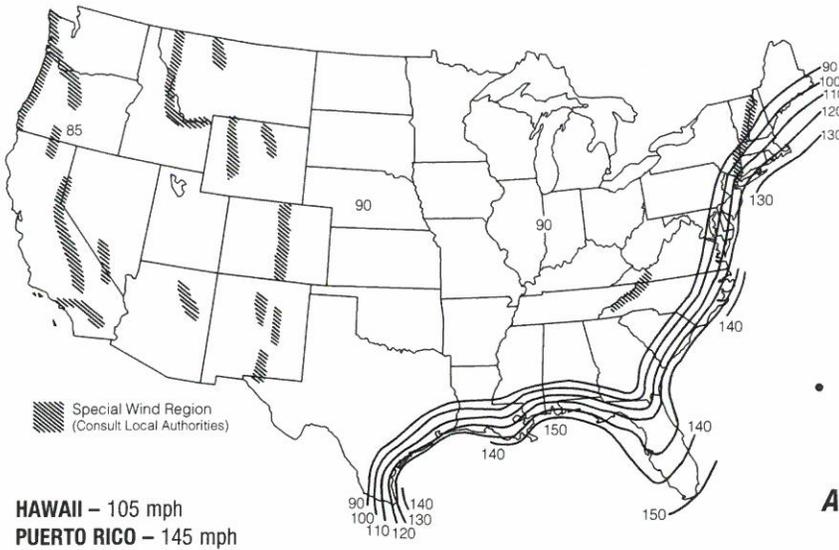
<p>GFI - 20 AMP GFCI RECEPTACLE & COVER</p>  <p>Square Steel Pole Standard hand hole frame Adapter plate Gasket 20 AMP GFCI Wet Locations In-use Cover</p>	<p>MPB - MID POLE BRACKET</p>  <p>Square Steel Pole Attachment stub 5" long welded to pole 2" pipe tenon 4.25" tall Arm, 3" Sq. x 13.5" long ships separately</p>	<p>OPTION ORIENTATION</p> <p>Follow the logic below when ordering location specific options. For each option, include its orientation (in degrees) and its height (in feet). Example: Option C07 should be ordered as: SSS-H-20-40-A-TA-DB-C07-0-15 (.5" coupling on the handhole/arm side of pole, 15 feet up from the pole base) 1' spacing required between option. Consult factory for other configurations.</p>  <p>Height of option in feet Bolt Square (Outer) Bolt Square (Inner) HandHole Bolt Circle (Outer) Bolt Circle (Inner) 0° 90° 180° 270°</p>
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For more information about pole vibration and vibration dampers, please consult http://cdn.hubbelloutdoor.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HLOI0022.pdf
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.

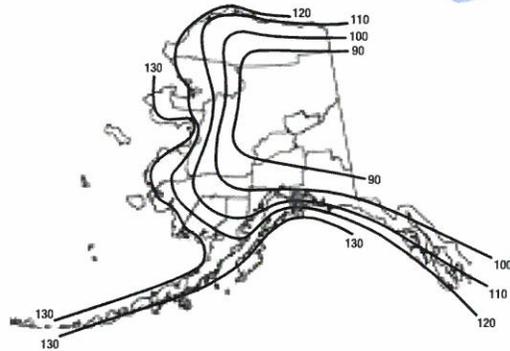
K.1

ASCE7-05 WIND MAP

FLORIDA REGION WIND MAP



ALASKA REGION WIND MAP



ASCE 7-05 wind map EPA Load Rating - 3 second gust wind speeds
(Use for all locations except Florida)

Catalog Number	85	90	100	105	110	120	130	140	145	150
SSS-H-10-40-A	25.0	25.0	25.0	22.8	20.6	17.0	14.2	11.9	11.0	10.1
SSS-H-12-40-A	25.0	25.0	20.0	18.0	16.1	13.2	10.8	8.9	8.1	7.4
SSS-H-14-40-A	23.1	20.4	16.1	14.3	12.8	10.2	8.2	6.6	5.9	5.3
SSS-H-16-40-A	19.0	16.7	13.0	11.5	10.1	7.9	6.2	4.7	4.1	3.6
SSS-H-18-40-A	15.6	13.6	10.0	9.0	7.8	5.9	4.4	3.1	2.6	2.1
SSS-H-20-40-A	12.7	10.9	7.9	6.9	5.9	4.2	2.8	1.7	1.3	0.9
SSS-H-25-40-A	7.3	5.9	3.8	2.9	2.1	0.8	NR	NR	NR	NR
SSS-H-14-40-B	25.0	25.0	23.3	20.8	18.6	15.1	12.3	10.2	9.2	8.4
SSS-H-16-40-B	25.0	24.9	19.4	17.3	15.4	12.3	9.9	8.0	7.2	6.4
SSS-H-18-40-B	24.0	20.8	16.1	14.2	12.5	9.8	7.7	6.1	5.3	4.7
SSS-H-20-40-B	20.2	17.5	13.2	11.6	10.1	7.7	5.9	4.4	3.8	3.2
SSS-H-25-40-B	12.8	11.0	7.9	6.7	5.5	3.7	2.3	1.2	0.7	NR
SSS-H-30-40-B	8.0	6.6	4.1	3.1	2.2	0.8	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	24.8	20.1	16.5	13.6	12.3	11.2
SSS-H-18-50-B	25.0	25.0	25.0	22.9	20.4	16.4	13.2	10.7	9.6	8.6
SSS-H-20-50-B	25.0	25.0	21.3	18.9	16.7	13.2	10.4	8.1	7.2	6.3
SSS-H-25-50-B	20.7	17.8	13.3	11.5	9.8	7.2	5.0	3.3	2.6	1.9
SSS-H-30-50-B	13.5	11.3	7.7	6.2	4.9	2.8	1.1	NR	NR	NR
SSS-H-25-50-C	25.0	25.0	19.4	17.1	15.1	11.7	9.0	6.9	6.0	5.1
SSS-H-30-50-C	20.1	17.3	12.7	10.9	9.3	6.6	4.5	2.8	2.1	1.4
SSS-H-20-60-B	25.0	25.0	25.0	25.0	25.0	20.2	16.1	12.9	11.5	10.3
SSS-H-25-60-B	25.0	25.0	20.6	18.0	15.6	11.8	8.7	6.2	5.2	4.2
SSS-H-30-60-B	21.4	18.1	12.9	10.7	8.8	5.7	3.3	1.3	NR	NR
SSS-H-35-60-B	14.0	11.3	6.9	5.2	3.6	1.0	NR	NR	NR	NR
SSS-H-40-60-B	8.1	5.8	2.2	nr						
SSS-H-30-60-C	24.3	20.5	14.6	12.2	10.2	6.8	4.2	2.2	1.3	0.5
SSS-H-35-60-C	16.6	13.5	8.6	6.6	4.9	2.1	NR	NR	NR	NR
SSS-H-40-60-C	10.6	7.9	3.7	2.1	0.6	NR	NR	NR	NR	NR

Florida Building Code 2017 EPA Load Rating - 3 second gust wind speeds
(Use for Florida only)

Catalog Number	115	120	130	140	150	160	170	180
SSS-H-10-40-A	25.0	25.0	25.0	25.0	21.4	18.4	15.9	13.9
SSS-H-12-40-A	25.0	25.0	23.6	19.8	16.7	14.2	12.1	10.4
SSS-H-14-40-A	25.0	23.1	19.0	15.7	13.1	10.9	9.1	7.6
SSS-H-16-40-A	20.8	18.7	15.2	12.3	10.1	8.2	6.7	5.4
SSS-H-18-40-A	16.8	15.0	11.9	9.4	7.5	5.9	4.5	3.4
SSS-H-20-40-A	13.6	11.9	9.2	7.1	5.3	3.9	2.7	1.7
SSS-H-25-40-A	7.4	6.2	4.1	2.5	1.1	NR	NR	NR
SSS-H-14-40-B	25.0	23.6	19.4	16.1	13.4	11.2	9.4	7.8
SSS-H-16-40-B	21.4	19.2	15.6	12.7	10.4	8.5	6.9	5.6
SSS-H-18-40-B	17.2	15.4	12.2	9.7	7.7	6.1	4.7	3.6
SSS-H-20-40-B	13.9	12.3	9.5	7.3	5.5	4.1	2.9	1.9
SSS-H-25-40-B	7.7	6.4	4.3	2.6	1.3	NR	NR	NR
SSS-H-30-40-B	3.2	2.1	NR	NR	NR	NR	NR	NR
SSS-H-16-50-B	25.0	25.0	25.0	25.0	25.0	21.4	18.2	15.5
SSS-H-18-50-B	25.0	25.0	25.0	24.4	20.4	17.0	14.2	11.9
SSS-H-20-50-B	25.0	25.0	24.4	19.9	16.3	13.4	11.0	8.9
SSS-H-25-50-B	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-B	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-25-50-C	21.8	19.3	15.0	11.5	8.8	6.5	4.7	3.1
SSS-H-30-50-C	13.7	11.7	8.2	5.5	3.3	1.5	NR	NR
SSS-H-20-60-B	25.0	25.0	25.0	21.9	17.8	14.5	11.7	9.4
SSS-H-25-60-B	23.8	20.9	16.1	12.3	9.2	6.6	4.5	2.8
SSS-H-30-60-B	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-B	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-B	1.8	NR						
SSS-H-30-60-C	14.6	12.3	8.4	5.3	2.8	0.8	NR	NR
SSS-H-35-60-C	7.5	5.6	2.4	NR	NR	NR	NR	NR
SSS-H-40-60-C	1.8	NR						

K.2

NOTES

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration Application Guide for environmental risk factors and design considerations. http://cdn.hubbelloutdoor.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.

**HUBBELL
Outdoor Lighting**

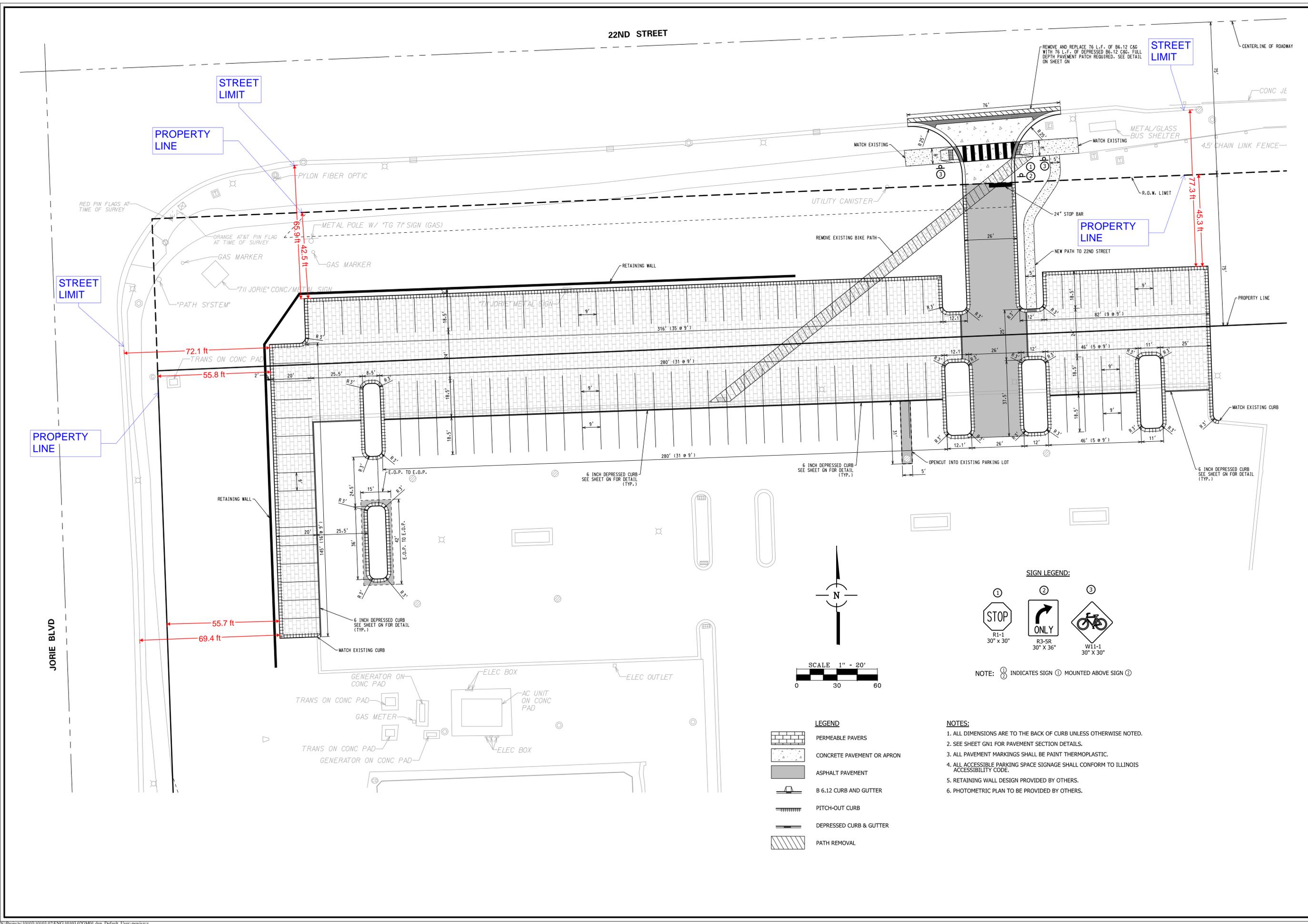
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Lighting**

SSS-H POLES-SPEC 6/17

K.3



22ND STREET

STREET LIMIT

PROPERTY LINE

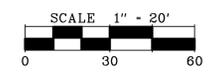
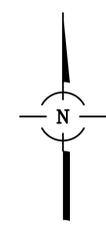
STREET LIMIT

PROPERTY LINE

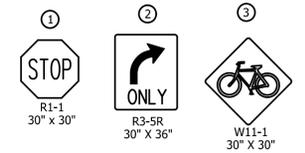
STREET LIMIT

PROPERTY LINE

JORIE BLVD



SIGN LEGEND:



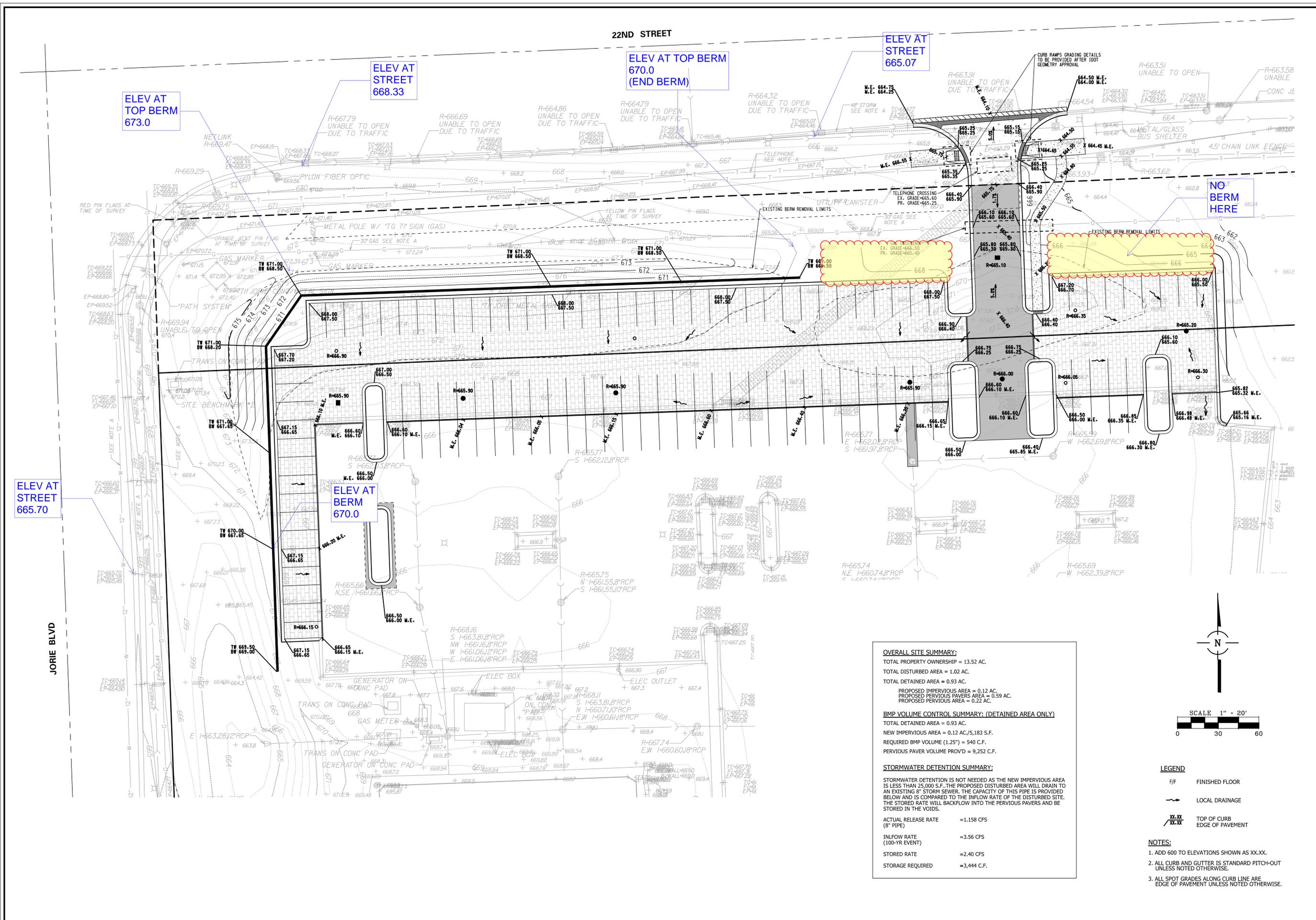
NOTE: ② INDICATES SIGN ① MOUNTED ABOVE SIGN ②

LEGEND

	PERMEABLE PAVERS
	CONCRETE PAVEMENT OR APRON
	ASPHALT PAVEMENT
	B 6.12 CURB AND GUTTER
	PITCH-OUT CURB
	DEPRESSED CURB & GUTTER
	PATH REMOVAL

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. SEE SHEET GN1 FOR PAVEMENT SECTION DETAILS.
 3. ALL PAVEMENT MARKINGS SHALL BE PAINT THERMOPLASTIC.
 4. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 5. RETAINING WALL DESIGN PROVIDED BY OTHERS.
 6. PHOTOMETRIC PLAN TO BE PROVIDED BY OTHERS.

<p>GEOMETRIC PLAN</p> <p>711 JORIE BLVD (PHASE-2)</p> <p>OAK BROOK, ILLINOIS</p>	<p>CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS</p> <p>9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4065</p>
<p>NO. DATE REMARKS</p>	<p>NO. DATE REMARKS</p>
<p>1 10/15/18 REVISION PER OWNER</p>	<p>1 10/15/18 REVISION PER OWNER</p>
<p>FILENAME: 10103.02GM01</p>	
<p>DATE: 08/22/18</p>	
<p>JOB NO. 10103.02</p>	
<p>SHEET GM1 5 OF 13</p>	

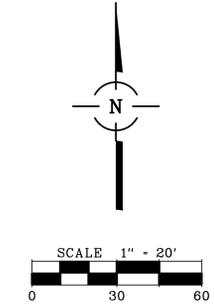


OVERALL SITE SUMMARY:
 TOTAL PROPERTY OWNERSHIP = 13.52 AC.
 TOTAL DISTURBED AREA = 1.02 AC.
 TOTAL DETAINED AREA = 0.93 AC.
 PROPOSED IMPERVIOUS AREA = 0.12 AC.
 PROPOSED PERVIOUS PAVERS AREA = 0.59 AC.
 PROPOSED PERVIOUS AREA = 0.22 AC.

BMP VOLUME CONTROL SUMMARY: (DETAINED AREA ONLY)
 TOTAL DETAINED AREA = 0.93 AC.
 NEW IMPERVIOUS AREA = 0.12 AC/5,183 S.F.
 REQUIRED BMP VOLUME (1.25") = 540 C.F.
 PERVIOUS PAVR VOLUME PROVIDED = 9,252 C.F.

STORMWATER DETENTION SUMMARY:
 STORMWATER DETENTION IS NOT NEEDED AS THE NEW IMPERVIOUS AREA IS LESS THAN 25,000 S.F. THE PROPOSED DISTURBED AREA WILL DRAIN TO AN EXISTING 8" STORM SEWER. THE CAPACITY OF THIS PIPE IS PROVIDED BELOW AND IS COMPARED TO THE INFLOW RATE OF THE DISTURBED SITE. THE STORED RATE WILL BACKFLOW INTO THE PERVIOUS PAVERS AND BE STORED IN THE VOIDS.

ACTUAL RELEASE RATE (8" PIPE) = 1.158 CFS
 INFLOW RATE (100-YR EVENT) = 3.56 CFS
 STORED RATE = 2.40 CFS
 STORAGE REQUIRED = 3,444 C.F.



LEGEND

F/F FINISHED FLOOR

LOCAL DRAINAGE

XX.XX TOP OF CURB
 XX.XX EDGE OF PAVEMENT

NOTES:

- ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
- ALL CURB AND GUTTER IS STANDARD PITCH-OUT UNLESS NOTED OTHERWISE.
- ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.

NO.	DATE	REVISIONS
1	10/15/18	REVISION PER OWNER

GRADING PLAN

711 JORIE BLVD (PHASE-2)
 OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
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SPACECO INC.

FILENAME:
 10103.02GR01

DATE:
 08/22/18

JOB NO.
 10103.02

SHEET
GR1
 6 OF 13

GENERAL NOTES

1. REFERENCED CODES

A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS: ADOPTED JANUARY 1, 2012 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN; AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.

B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.

D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED NECESSARY TO COMPLETE THIS WORK AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

2. UTILITY LOCATIONS

A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE CONTRACTOR DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E., AT 800-892-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.

C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE AND TO CONSTRUCTION OPERATIONS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THERE IS NO CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

3. UTILITY COORDINATION

A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION COORDINATION WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.

C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT THAT SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.

4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.

7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.

8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

9. COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONSTRUCTION TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.

11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CURBS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.

16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.

19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.

21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

22. GENERAL EXCAVATION/UNDERGROUND NOTES

A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.

B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER Dewatering SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.

B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE. AFTER FORMS HAVE BEEN SET.

D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.

B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.

C. ANY Dewatering of SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR Dewatering. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL, UPON APPROVAL OF THE OWNER AND/OR ENGINEER, OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING 100% CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

E. THE CONTRACTOR SHALL INSTALL A 4" x 4" x 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.

F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.

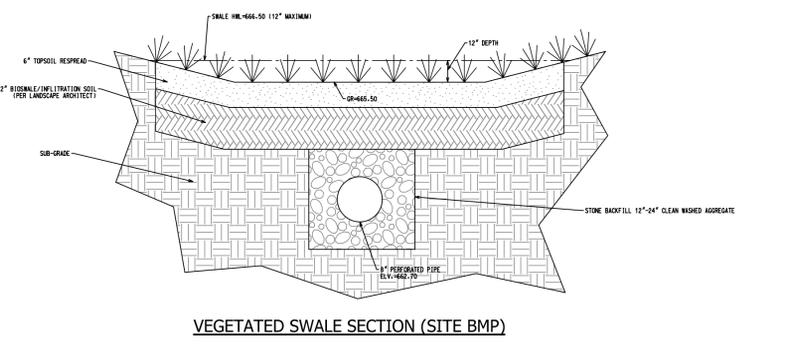
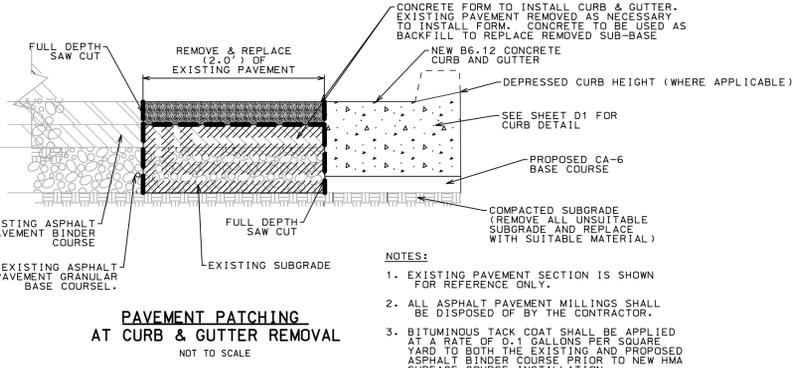
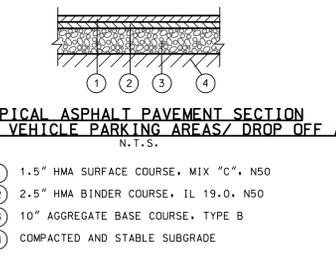
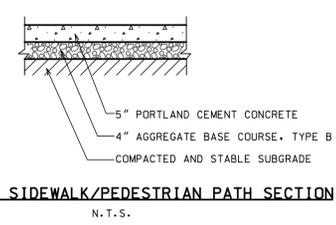
G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.

H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADES.

I. SLEEVES FOR UTILITY (CABLE, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.



LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS		
M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAIN
LP - LIGHT POLE	TC - TOP OF CURB	SAN - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PLO - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS			
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

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TYPICAL SECTIONS AND GENERAL NOTES

711 JORIE BLVD (PHASE-1)
 OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

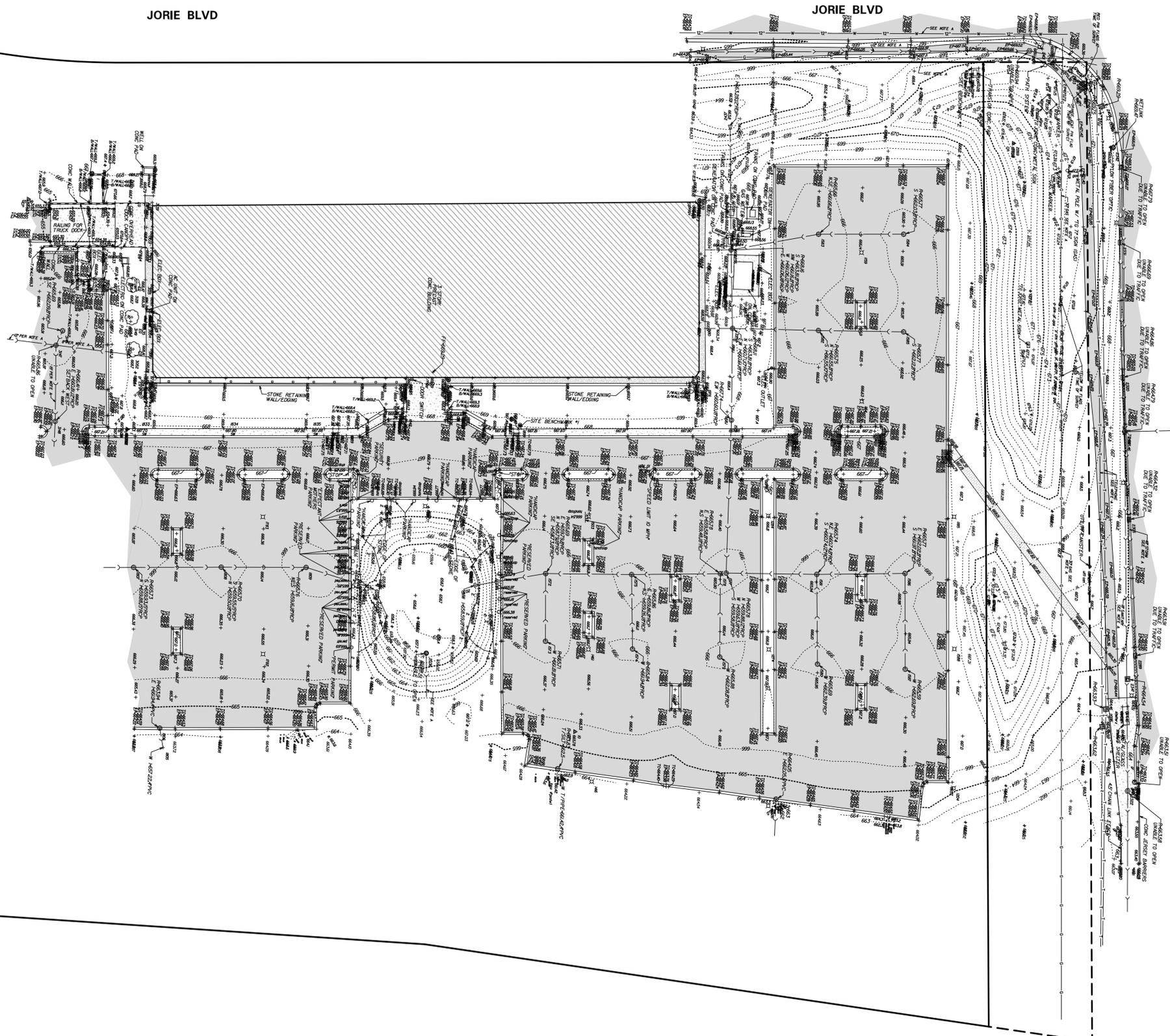
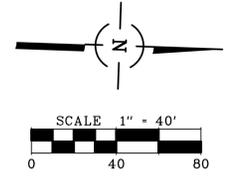
SPACECO INC.

FILENAME:
 10103GN.dgn

DATE:
 08/06/18

JOB NO.
 10103

SHEET
GN
 2 OF 9



JORIE BLVD

JORIE BLVD

22ND STREET

NO.	DATE	REMARKS

NO.	DATE	REMARKS

EXISTING CONDITIONS

711 JORIE BLVD (PHASE-1)
OAK BROOK, ILLINOIS

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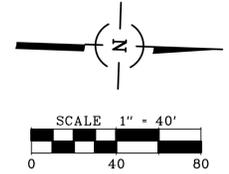


FILENAME:
10103EX

DATE:
08/06/18

JOB NO.
10103

SHEET
EX
3 OF 9



JORIE BLVD

22ND STREET

EXISTING BUILDING
 FF = ± 669.30
 (BUILDING TO BE RENOVATED, PLANS BY WARE MALCOMB)

PATIO ADDITION (11,620 S.F.)
 SEE LANDSCAPE PLANS BY IVES/RYAN GROUP INC.

TEMPORARY HANDICAPPED PARKING AREA
 TEMPORARY SIDEWALK TO TEMPORARY BUILDING ENTRANCE

PROPOSED SIDEWALK ADDITION
 PROPOSED SIDEWALK ADDITION
 PARKING STALL ADDITION
 PARKING STALL ADDITION

PHASE-1 CONSTRUCTION

PHASE-2 CONSTRUCTION
 ACCESS TO 22ND STREET (IDOT JURISDICTION &
 PER COORDINATION WITH NICOR)
 SEE SEPERATE PLAN SET BY SPACECO

NO.	DATE	REMARKS

NO.	DATE	REMARKS

OVERALL SITE PLAN
711 JORIE BLVD (PHASE-1)
 OAK BROOK, ILLINOIS

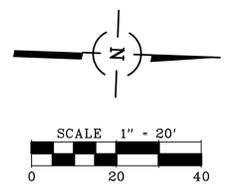
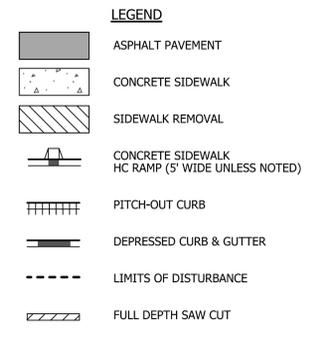
CONSULTING ENGINEERS
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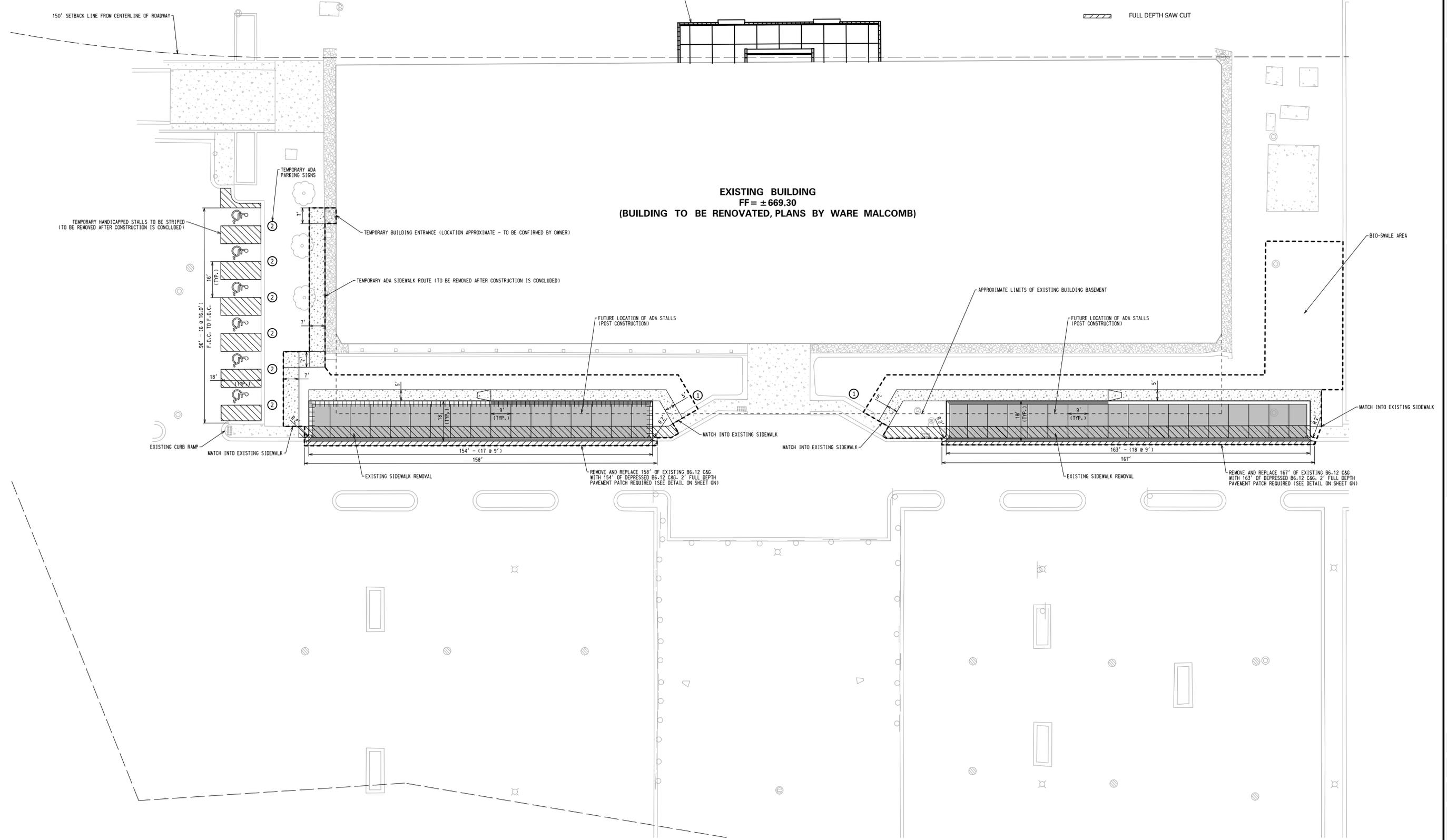
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10103OVSP
 DATE:
08/06/18
 JOB NO.
10103
 SHEET
OVSP
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- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS TYPE B6-12, BARRIER CURB, UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE 4" PAINT.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDING.



NOTE: ① INDICATES SIGN ① MOUNTED ABOVE SIGN ②
 SEE LANDSCAPE PLANS FOR PATIO RENOVATIONS (PREPARED BY IVES/RYAN GROUP INC)



NO.	DATE	REMARKS

NO.	DATE	REMARKS

GEOMETRIC PLAN
711 JORIE BLVD (PHASE-1)
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10103

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GM1
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STORM STRUCTURE LEGEND

- STRUCTURE ABBREVIATION
- STRUCTURE NUMBER
- M-100
- A4D, 1P
- FRAME AND LID TYPE
- DIAMETER & SIZE OF STRUCTURE
- TYPE OF STRUCTURE

STORM STRUCTURE ABBREVIATIONS

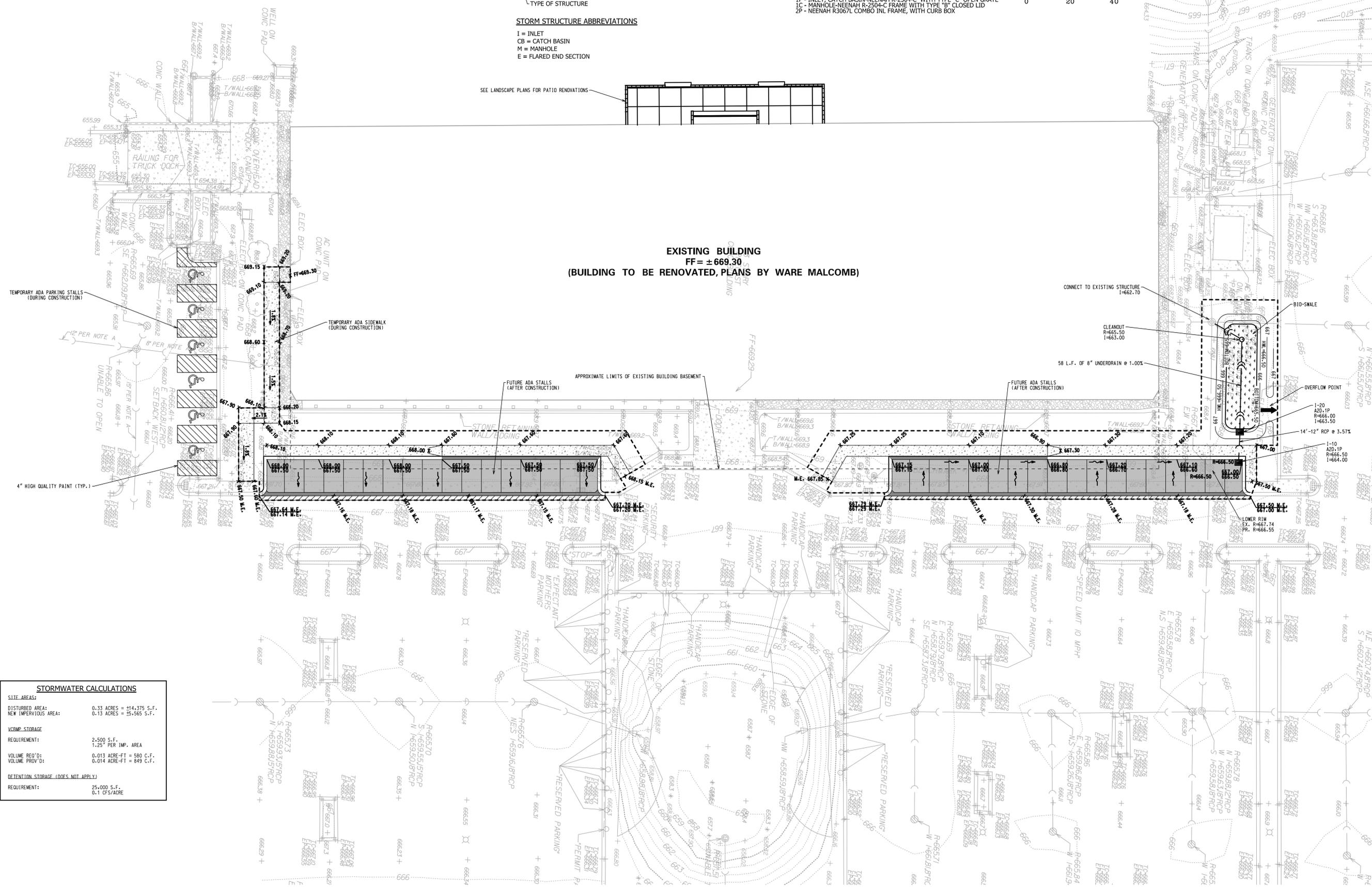
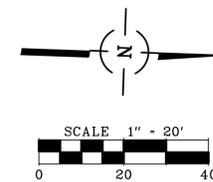
- I = INLET
- CB = CATCH BASIN
- M = MANHOLE
- E = FLARED END SECTION

LEGEND

- F/F FINISHED FLOOR
- XX/XX TOP OF CURB
- XX/XX EDGE OF PAVEMENT

NOTES:

1. ALL CURB AND GUTTER IS PITCH-OUT UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
3. SEE SHEET GN FOR DETAIL OF BIO-SWALE.
4. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES:
 - 1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "C" OPEN GRATE
 - 1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
 - 2P - NEENAH R3067L COMBO INL. FRAME, WITH CURB BOX



STORMWATER CALCULATIONS

SITE AREAS:	
DISTURBED AREA:	0.33 ACRES = 14,375 S.F.
NEW IMPERVIOUS AREA:	0.13 ACRES = 5,565 S.F.
VOLUME STORAGE	
REQUIREMENT:	2,500 S.F. 1.25" PER IMP. AREA
VOLUME REQ'D:	0.013 ACRE-FT = 580 C.F.
VOLUME PROV'D:	0.014 ACRE-FT = 849 C.F.
DETENTION STORAGE (DOES NOT APPLY)	
REQUIREMENT:	25,000 S.F. 0.1 CFS/ACRE

GRADING AND UTILITY PLAN	711 JORIE BLVD (PHASE-1) OAK BROOK, ILLINOIS
CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS	 SPACECO INC. FILENAME: 10103GRUT DATE: 08/06/18 JOB NO. 10103 SHEET GRUT 6 OF 9
NO. DATE REMARKS NO. DATE REMARKS	NO. DATE REMARKS NO. DATE REMARKS
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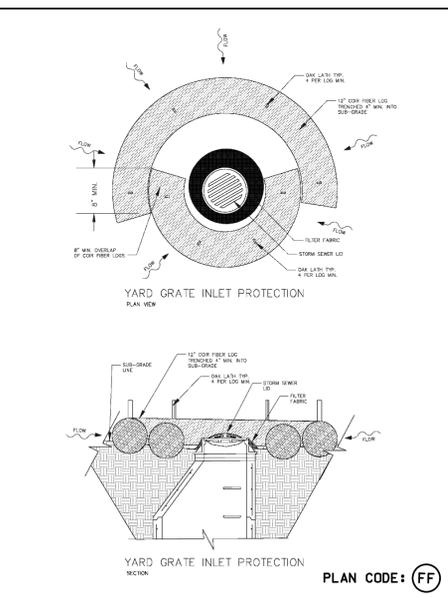
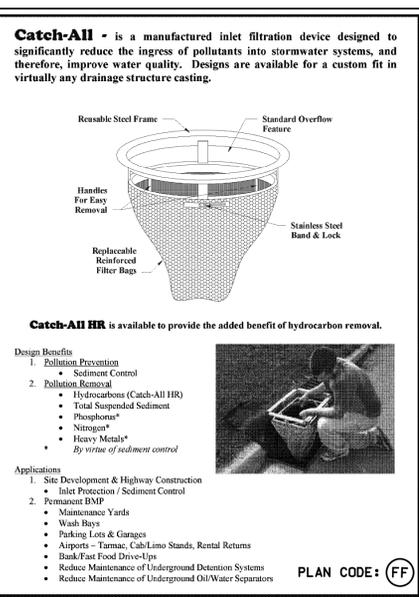
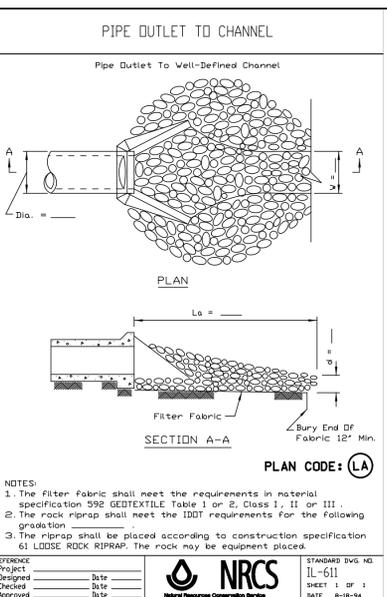
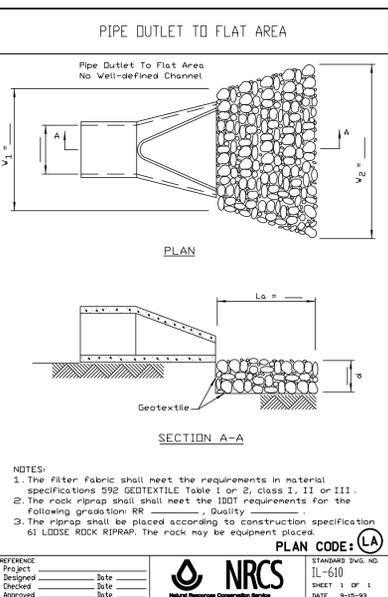
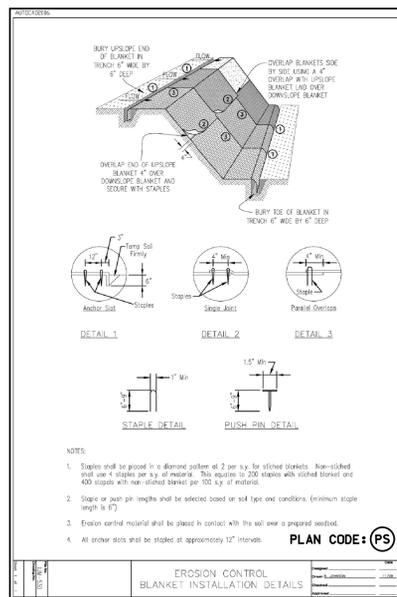
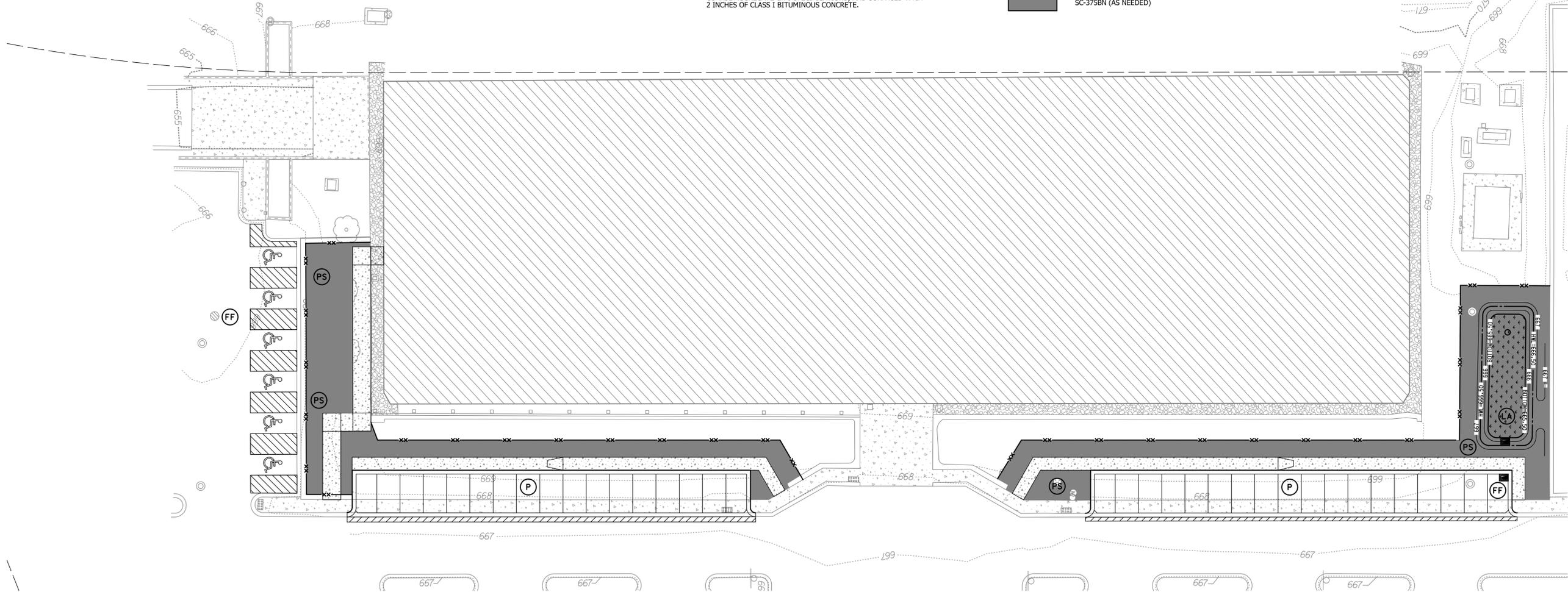
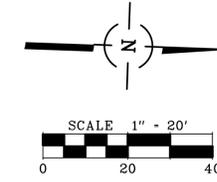
EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.

8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
9. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
10. SEDIMENT CONTROL AREA AROUND PAVERS TO CONSIST OF A 6" DEPRESSION BELOW EXISTING PAVEMENT. AREA TO BE LOW PRESSURE WASHED AND VACUUMED BEFORE INSTALLATION OF PERMEABLE PAVERS. AFTER STABILIZATION AREA TO BE FILLED WITH PROPOSED PAVEMENT.
11. TEMPORARY CONSTRUCTION ENTRANCE TO CONSIST OF A MINIMUM OF 6" BASE COURSE (GRAVEL OR CRUSHED STONE CONFORMING TO COARSE AGGREGATE CA-6 SPECIFICATIONS) AND SURFACED WITH 2 INCHES OF CLASS 1 BITUMINOUS CONCRETE.

SYMBOL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SILT FENCE
-  FILTER FABRIC
-  PAVING
-  PERMANENT SEEDING
-  LINED APRON
-  SEEDING OR EROSION CONTROL BLANKET SC-375BN (AS NEEDED)



NO.	DATE	REMARKS

NO.	DATE	REMARKS

SOIL EROSION AND SEDIMENT CONTROL PLAN

711 JORIE BLVD (PHASE-1)

OAK BROOK, ILLINOIS

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10103SE1

DATE:
08/06/18

JOB NO.
10103

SHEET
SE01

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EARTHWORK NOTES	PAVING NOTES	STORM SEWER NOTES			NO.	DATE	REMARKS
<p>1. GENERAL</p> <p>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.</p> <p>B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LOW-BID FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECONSIDERED UNLESS ORDERED IN WRITING BY THE OWNER.</p> <p>C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.</p> <p>D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</p> <p>E. PLANS FOR THE SITE Dewatering, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR Dewatering DURING CONSTRUCTION.</p> <p>F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES", THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION MAY BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.</p> <p>G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERCT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.</p> <p>H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</p> <p>I. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.</p> <p>2. TOPSOIL EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.</p> <p>B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.</p> <p>C. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.</p> <p>D. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</p> <p>E. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p>3. EARTH EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.</p> <p>B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.</p> <p>STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALKS, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.</p> <p>D. EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT REQUIRED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATED.</p> <p>4. UNSUITABLE MATERIAL</p> <p>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>5. MISCELLANEOUS THE CONTRACTOR SHALL:</p> <p>A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</p> <p>B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</p> <p>C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</p> <p>D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.</p> <p>E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.</p> <p>6. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.</p> <p>B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.</p> <p>C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.</p>	<p>1. GENERAL</p> <p>A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.</p> <p>B. COMPACTION REQUIREMENTS: [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUB-GRADE = 93%; SUB-BASE = 93%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = REFER TO SSBC ARTICLE 406.07. THE SOILS ENGINEER IS RESPONSIBLE FOR ENSURING THAT MATERIALS ARE PROPERLY PLACED AND COMPACTED.</p> <p>C. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND IN ACCORDANCE WITH THE MUNICIPAL CODE.</p> <p>2. SUB-GRADE PREPARATION</p> <p>A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE DEVELOPED WITHIN THE AREA OF CONSTRUCTION IS IN ACCORDANCE WITH THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.</p> <p>B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. THE SOILS ENGINEER SHALL CONDUCT AND THE VILLAGE SHALL WITNESS ALL PROOF ROLLS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED IN A MANNER APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1) SCARIFY DISC AND AERATE. 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL. 4) USE OF GEOTEXTILE FABRIC. <p>MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2" IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.</p> <p>C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.</p> <p>D. PRIOR TO PLACEMENT OF THE BASE COURSE, ALL SUBGRADES MUST BE APPROVED BY THE MUNICIPAL ENGINEER, SOILS ENGINEER AND/OR OWNER.</p> <p>3. CONCRETE WORK</p> <p>A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS SJ OR PV PER (SSBC) SECTION 1020.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) INCHES AND SHEVEN (7) INCHES PERPENDICULAR TO THE DIRECTION OF TRAVEL, IN THAT FOURTEEN (14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1.50 LBS OF COLLATED, FILLERATED, POLYPROPYLENE OLEFIN FIBERS 0.50 TO 0.75 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF CONCRETE USED FOR SIDEWALKS. THE FIBERS SHALL BE AS MANUFACTURED UNDER THE NAME "FIBERMESH" OR EQUAL.</p> <p>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PREMULDED FIBER EXPANSION JOINTS WITH TWO 3/4" X 18" EPOXY COATED STEEL BOMEL BARS, SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE BOMEL BARS SHALL BE GREASED AND FITTED WITH WOOD EXPANSION TUBES. SAWS OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.</p> <p>C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. CONCRETE SHALL CURE FOR AT LEAST SEVEN (7) DAYS BEFORE THE CURBS ARE BACKFILLED.</p> <p>E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 FOOT INTERVALS AND 1/2" PREMULDED FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.</p> <p>F. CONCRETE DRIVEWAY APRONS SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE 6" X 6" NO. 6 WELDED WIRE MESH IN DRIVEWAYS. PROVIDE 1/2" PREMULDED FIBER EXPANSION JOINT ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE SAWS OR FORMED CONTRACTION JOINT AT MID-POINT AND 15 FOOT MAXIMUM.</p> <p>G. STANDARD REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. SAWS OR FORMED CONTRACTION EXPANSION JOINTS SHALL BE AS SHOWN ON THE PLANS.</p> <p>H. CONCRETE CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH (SSBC) - METHOD 1, II, OR III.</p> <p>I. THE COST OF AGGREGATE BASE OR SUB-BASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.</p> <p>4. FLEXIBLE PAVEMENT</p> <p>A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B; BITUMINOUS CONCRETE BINDER COURSE; AND BITUMINOUS CONCRETE SURFACE COURSE OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.</p> <p>B. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE BITUMINOUS M.C. 30.</p> <p>C. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED, AND TACK COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS SPECIFIED IN (SSBC) SECTION 406.02.</p> <p>D. SEAMS IN BASE, BINDER AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6".</p> <p>E. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE BITUMINOUS CONCRETE BINDER COURSE TO WEATHER ONE (1) WINTER SEASON PRIOR TO THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE UNLESS OTHERWISE SPECIFIED BY THE MUNICIPAL ENGINEER OR OWNER.</p> <p>5. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPALITY. TESTING SHALL BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE TESTING REQUIREMENTS OF THE MUNICIPALITY.</p> <p>B. WHEN REQUESTED BY THE OWNER, TEST RESULTS AND DOCUMENTATION FOR THE CONCRETE, BASE COURSE, BITUMINOUS CONCRETE BINDER, AND/OR SURFACE COURSE, SHALL BE SUBMITTED FOR VERIFICATION.</p> <p>C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.</p> <p>D. WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSBC), ART. 407.10.</p> <p>E. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.</p>	<p>1. GENERAL:</p> <p>A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS. IN ACCORDANCE WITH THE FOLLOWING:</p> <p>PLAN CODE: MATERIAL RCP: REINFORCED CONCRETE PIPE (ASTM C-76) WITH 0-RING GASKETED JOINTS. (ASTM C-493); TYPE 1, CLASS IV, PER (SSBC) SECTION 603. ELLIPTICAL RCP PIPE SHALL BE TYPE 1, HE-111 PER (SSBC) SECTION 511. PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS. PAVEMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT OF STORM SEWER COMPLETE IN PLACE.</p> <p>DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21-51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21-11). CEMENT LINING IS NOT REQUIRED.</p> <p>PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS.</p> <p>HOPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH; OR H1-0 BY HANCO, FINLEY.</p> <p>OH: JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER.</p> <p>UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOCK. PERFORATED HOPE PIPE ALSO ACCEPTABLE.</p> <p>B. "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERROCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.</p> <p>C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>D. ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND.</p> <p>E. THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN OVER ANY PIPES WHICH HAVE LESS THAN THREE (3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.</p> <p>2. BEDDING:</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" (IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HOPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.</p> <p>3. STRUCTURES:</p> <p>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH 0-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8) INCHES OF ADJUSTING RINGS SHALL BE USED.</p> <p>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</p> <p>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</p> <p>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</p> <p>4. FRENCH DRAIN:</p> <p>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL. (FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>5. CASTINGS:</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</p> <p>6. CLEANING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</p> <p>7. TELEVISIONING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.</p>					
<p>SIGNING AND PAVEMENT MARKING</p> <p>1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBC), MUNICIPAL CODE AND THESE PLANS.</p> <p>2. CONTRACTOR SHALL ESTABLISH LOCATION OF ALL SIGNS AND MARKINGS FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.</p> <p>3. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH (SSBC) SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCD AND AS SHOWN ON THE PLANS.</p> <p>4. POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSBC) SECTION 729 [OR: 2" PERFORATED STEEL TUBE PER (SSBC) SECTION 728].</p> <p>5. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSBC) SECTIONS AND IDOT STANDARD 729001 EXCEPT AS MODIFIED BY THE PLANS.</p> <p>6. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP LINES, CENTER LINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSBC) SECTION 760, EXCEPT AS MODIFIED BY THE PLANS. [NOTE TO ENGINEER: IDOT PREFERENCES REFLECTORIZED PAINT ON CONCRETE PAVEMENT - CHECK WITH AGENCY WHO WILL MAINTAIN ROAD.]</p> <p>7. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATION, SHALL BE PAINT IN ACCORDANCE TO (SSBC) SECTION 760, EXCEPT AS MODIFIED BY THE PLANS. REFLECTIVE BEADS ARE NOT REQUIRED.</p> <p>8. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD) EXCEPT AS MODIFIED BY THE PLANS.</p> <p>9. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.</p>							

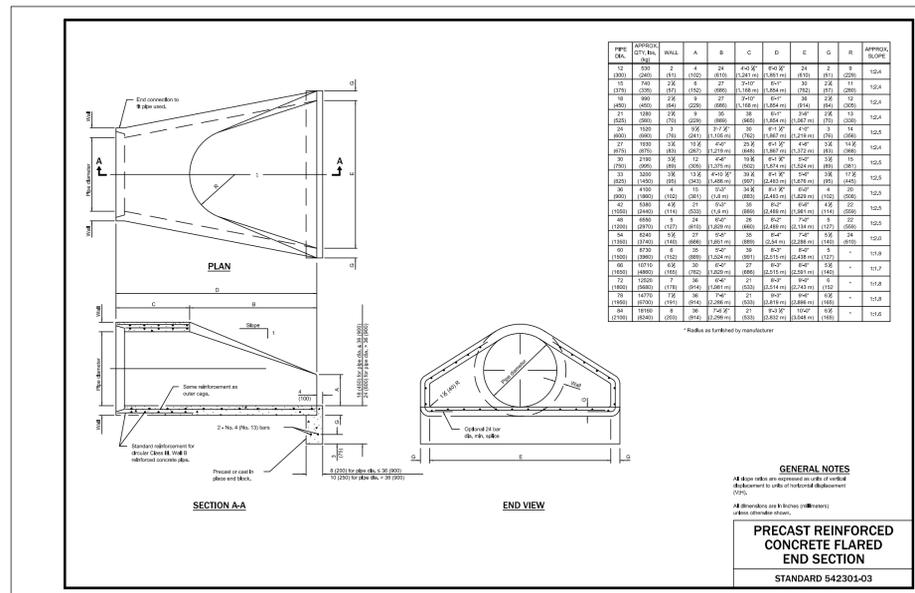
SPECIFICATIONS
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GENERAL NOTES

1. REFERENCED CODES

A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS: ADOPTED JANUARY 1, 2011 BY THE DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN; AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.

B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN.

D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED NECESSARY TO COMPLETE THIS WORK AND ARE CONSIDERED A PART OF THIS CONTRACT.

2. UTILITY LOCATIONS

A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E., AT 800-892-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.

C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITIES OR EASEMENTS ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

3. UTILITY COORDINATION

A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSIDER CONFLICTS WITH ALL UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.

C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT ALL TIMES BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.

4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.

7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.

8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

9. COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.

11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.

16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AND NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.

19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.

21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

22. GENERAL EXCAVATION/UNDERGROUND NOTES

A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.

B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER Dewatering SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.

B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE. AFTER FORMS HAVE BEEN SET.

D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS, FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.

B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES SHALL BE MAINTAINED AS PART OF THIS PROJECT AND SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.

C. ANY Dewatering OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR Dewatering. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL, UPON APPROVAL OF THE OWNER AND ENGINEER, OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING 100% CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

E. THE CONTRACTOR SHALL INSTALL A 4" x 4" x 8" (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.

F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.

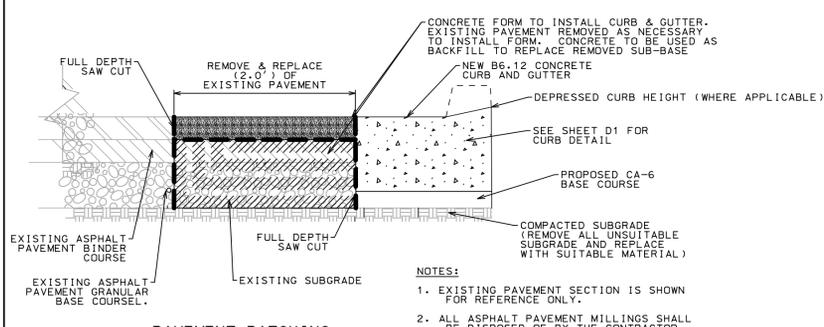
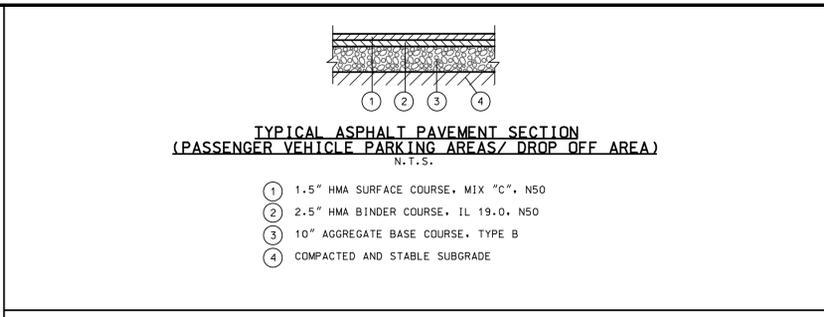
G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER TO THE CURB AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.

H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEViate THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. FINISH GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLAN GRADES.

I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE" MEANING CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS.



NOTES:

1. EXISTING PAVEMENT SECTION IS SHOWN FOR REFERENCE ONLY.

2. ALL ASPHALT PAVEMENT MILLINGS SHALL BE DISPOSED OF BY THE CONTRACTOR.

3. BITUMINOUS TACK COAT SHALL BE APPLIED AT A RATE OF 0.1 GALLONS PER SQUARE YARD TO BOTH THE EXISTING AND PROPOSED ASPHALT BINDER COURSE PRIOR TO NEW HMA SURFACE COURSE INSTALLATION.

LEGEND		
EXISTING	DESCRIPTION	PROPOSED
	DRAIN TILE	
	STORM SEWER	
	SANITARY SEWER	
	SANITARY TRUNK SEWER	
	WATER MAIN (WITH SIZE)	
	PIPE TRENCH BACKFILL	
	GAS MAIN	
	TELEPHONE LINES	
	ELECTRIC LINE	
	FENCE	
	RIGHT-OF-WAY	
	EASEMENT	
	PROPERTY LINE	
	SETBACK LINE	
	CENTERLINE	
	CONTOUR	
	SANITARY MANHOLE	
	STORM MANHOLE	
	CATCH BASIN	
	INLET	
	FIRE HYDRANT	
	PRESSURE CONNECTION	
	PIPE REDUCER	
	VALVE AND VAULT, VALVE	
	FLARED END SECTION	
	STREET LIGHT	
	UTILITY POLE	
	CONTROL POINT	
	SIGN	
	SPOT ELEVATION	
	SOIL BORING	
	OVERLAND FLOW ROUTE	
	DRAINAGE SLOPE	
	GUARDRAIL	
	WATER'S EDGE	
	CONCRETE	
	REVERSE PITCH CURB	
	TREE, FIR TREE, BUSH, & PROPOSED TREE TO REMOVE	

ABBREVIATIONS		
M - STORM MANHOLE	I - INVERT OR INLET	T/P - TOP OF PIPE
S - SANITARY MANHOLE	TF - TOP OF FOUNDATION	B/P - BOTTOM OF PIPE
CB - CATCH BASIN	GF - GARAGE FLOOR	WM - WATERMAIN
LP - LIGHT POLE	TC - TOP OF CURB	SAN - SANITARY SEWER
VV - VALVE VAULT	TD - TOP OF DEPRESSED CURB	STM - STORM SEWER
E - END SECTION	TW - TOP OF RETAINING WALL	LO - LOOK OUT
FH - FIRE HYDRANT	BW - BOTTOM OF RETAINING WALL	PL - PARTIAL LOOK OUT
GR - GRADE RING (HYDRANT)	OP - OUTLET OF PIPE	

PERMITS			
DESCRIPTION	LOG NO.	PERMIT NO.	DATE ISSUED

CONTACT INFORMATION

VILLAGE OF OAK BROOK - PUBLIC WORKS
 1200 OAK BROOK ROAD
 OAK BROOK, IL 60521
 (630) 368-5130
 CONTACT PERSON: MICHAEL HULLIHAN

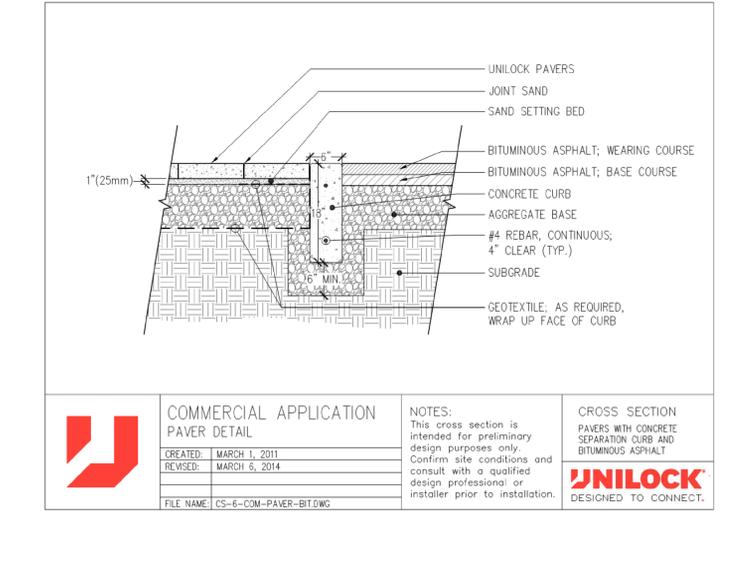
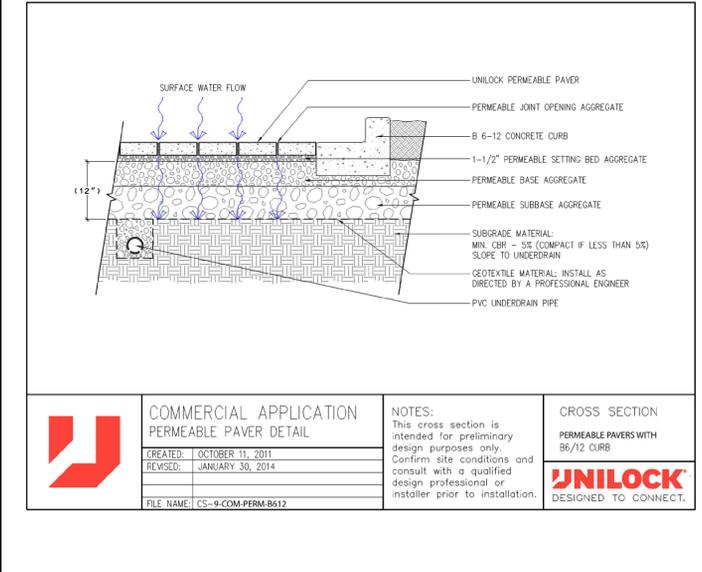
VILLAGE OF OAK BROOK COMMUNITY DEVELOPMENT
 1200 OAK BROOK ROAD
 OAK BROOK, IL 60521
 (630) 368-5104
 CONTACT PERSON: ROBERT KALLIEN JR.

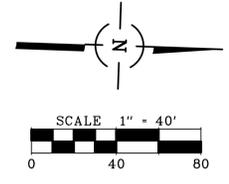
COMMONWEALTH EDISON
 IN423 SWIFT ROAD
 LOMBARD, IL 60148
 (630) 691-4857
 CONTACT PERSON: BILL HEITZ

CABLE TELEVISION
 CITY OF OAKBROOK TERRACE
 174275 BUTTERFIELD ROAD
 OAKBROOK TERRACE, IL 60181
 (630) 524-9330
 CONTACT PERSON: NICK IONESCU

NORTHERN ILLINOIS GAS
 90 NORTH FINLEY ROAD
 GLEN ELLYN, IL 60137-6092
 (630) 629-2900
 CONTACT PERSON: RENE RISCHL

ILLINOIS BELL TELEPHONE
 90 NORTH VILLA
 VILLA PARK, IL 60181
 (630) 368-5130
 CONTACT PERSON: LARRY MARCEL





JORIE BLVD

22ND STREET

EXISTING BUILDING

PHASE-1 CONSTRUCTION

PHASE-2 CONSTRUCTION

RETAINING WALL

PERVIOUS PAVERS PARKING AREA

PARKING STALL ADDITIONS

DRIVE AISLE ADDITION

PERVIOUS PAVERS PARKING AREA

APPROXIMATE LOCATION OF BFE
ELE=655.00

CURB RAMP (SEE SHEET D3 FOR DETAILS)

22ND STREET ACCESS DRIVEWAY

NO.	DATE	REVISIONS PER OWNER	REMARKS
1	10/15/18	REVISION PER OWNER	

NO.	DATE	REVISIONS PER IDOT	REMARKS
2	04/11/19	REVISIONS PER IDOT	

OVERALL SITE PLAN
711 JORIE BLVD (PHASE-2)
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



FILENAME:
10103.02OVSP

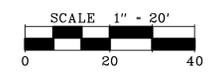
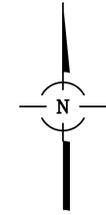
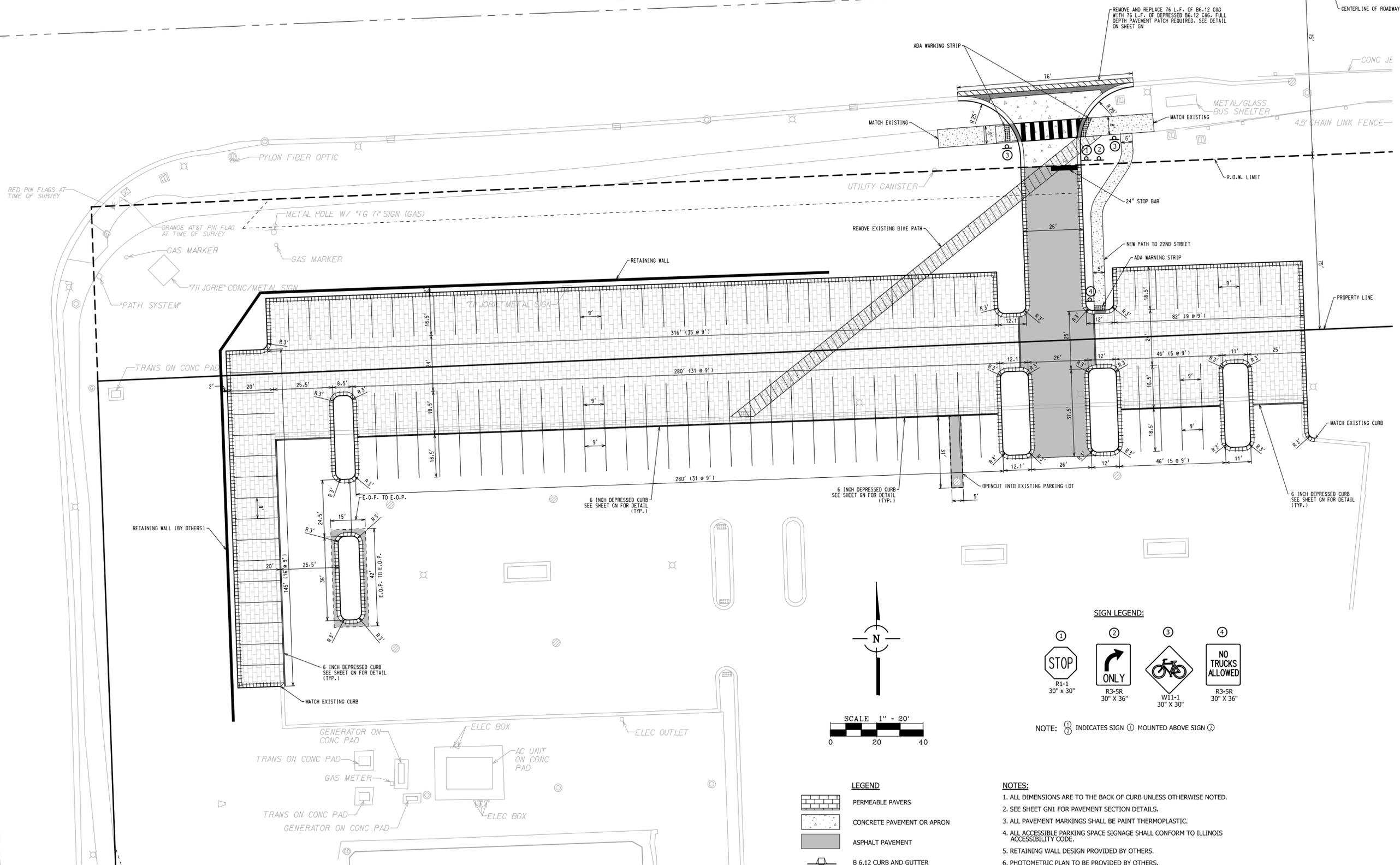
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08/22/18

JOB NO.
10103.02

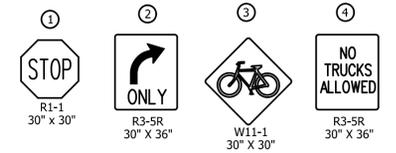
SHEET
OVSP
4 OF 15

22ND STREET

JORIE BLVD



SIGN LEGEND:



NOTE: ② INDICATES SIGN ① MOUNTED ABOVE SIGN ②

LEGEND

	PERMEABLE PAVERS
	CONCRETE PAVEMENT OR APRON
	ASPHALT PAVEMENT
	B 6.12 CURB AND GUTTER
	PITCH-OUT CURB
	DEPRESSED CURB & GUTTER
	PATH REMOVAL

- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. SEE SHEET G01 FOR PAVEMENT SECTION DETAILS.
 3. ALL PAVEMENT MARKINGS SHALL BE PAINT THERMOPLASTIC.
 4. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 5. RETAINING WALL DESIGN PROVIDED BY OTHERS.
 6. PHOTOMETRIC PLAN TO BE PROVIDED BY OTHERS.

NO.	DATE	REMARKS

NO.	DATE	REVISION PER OWNER	REMARKS
1	10/15/18		

GEOMETRIC PLAN
711 JORIE BLVD (PHASE-2)
 OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

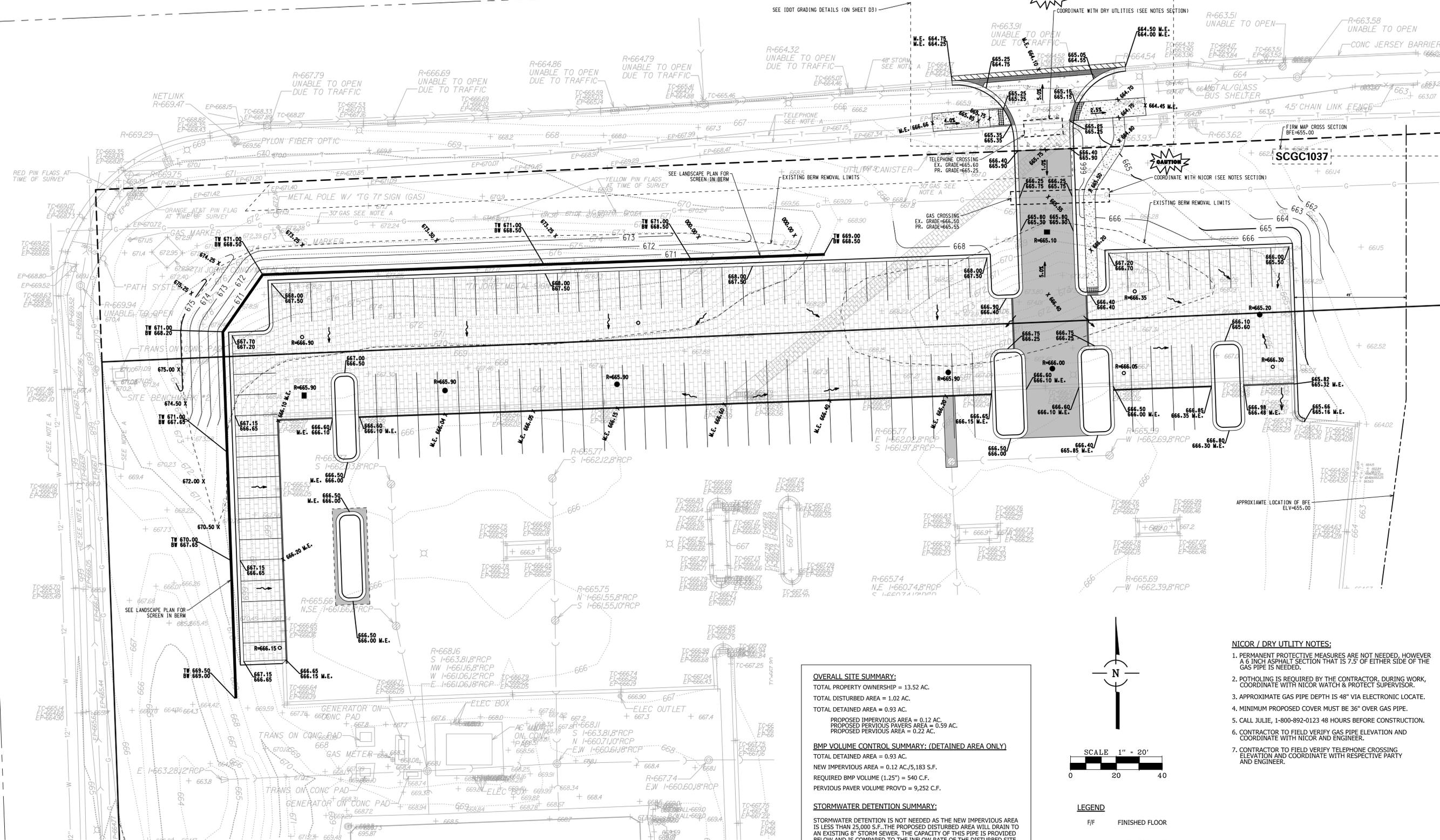
9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4065



FILENAME: 10103.02GM01
DATE: 08/22/18
JOB NO. 10103.02
SHEET GM1 5 OF 15

22ND STREET

JORIE BLVD

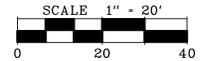
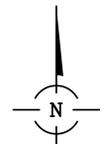


OVERALL SITE SUMMARY:
 TOTAL PROPERTY OWNERSHIP = 13.52 AC.
 TOTAL DISTURBED AREA = 1.02 AC.
 TOTAL DETAINED AREA = 0.93 AC.
 PROPOSED IMPERVIOUS AREA = 0.12 AC.
 PROPOSED PERVIOUS PAVERS AREA = 0.59 AC.
 PROPOSED PERVIOUS AREA = 0.22 AC.

BMP VOLUME CONTROL SUMMARY: (DETAINED AREA ONLY)
 TOTAL DETAINED AREA = 0.93 AC.
 NEW IMPERVIOUS AREA = 0.12 AC/5,183 S.F.
 REQUIRED BMP VOLUME (1.25") = 540 C.F.
 PERVIOUS PAVEMENT PROVIDED = 9,252 C.F.

STORMWATER DETENTION SUMMARY:
 STORMWATER DETENTION IS NOT NEEDED AS THE NEW IMPERVIOUS AREA IS LESS THAN 25,000 S.F. THE PROPOSED DISTURBED AREA WILL DRAIN TO AN EXISTING 8" STORM SEWER. THE CAPACITY OF THIS PIPE IS PROVIDED BELOW AND IS COMPARED TO THE INFLOW RATE OF THE DISTURBED SITE. THE STORED RATE WILL BACKFLOW INTO THE PERVIOUS PAVERS AND BE STORED IN THE VOIDS.

ACTUAL RELEASE RATE (8" PIPE)	= 1.158 CFS
INFLOW RATE (100-YR EVENT)	= 3.56 CFS
STORED RATE	= 2.40 CFS
STORAGE REQUIRED	= 3,444 C.F.

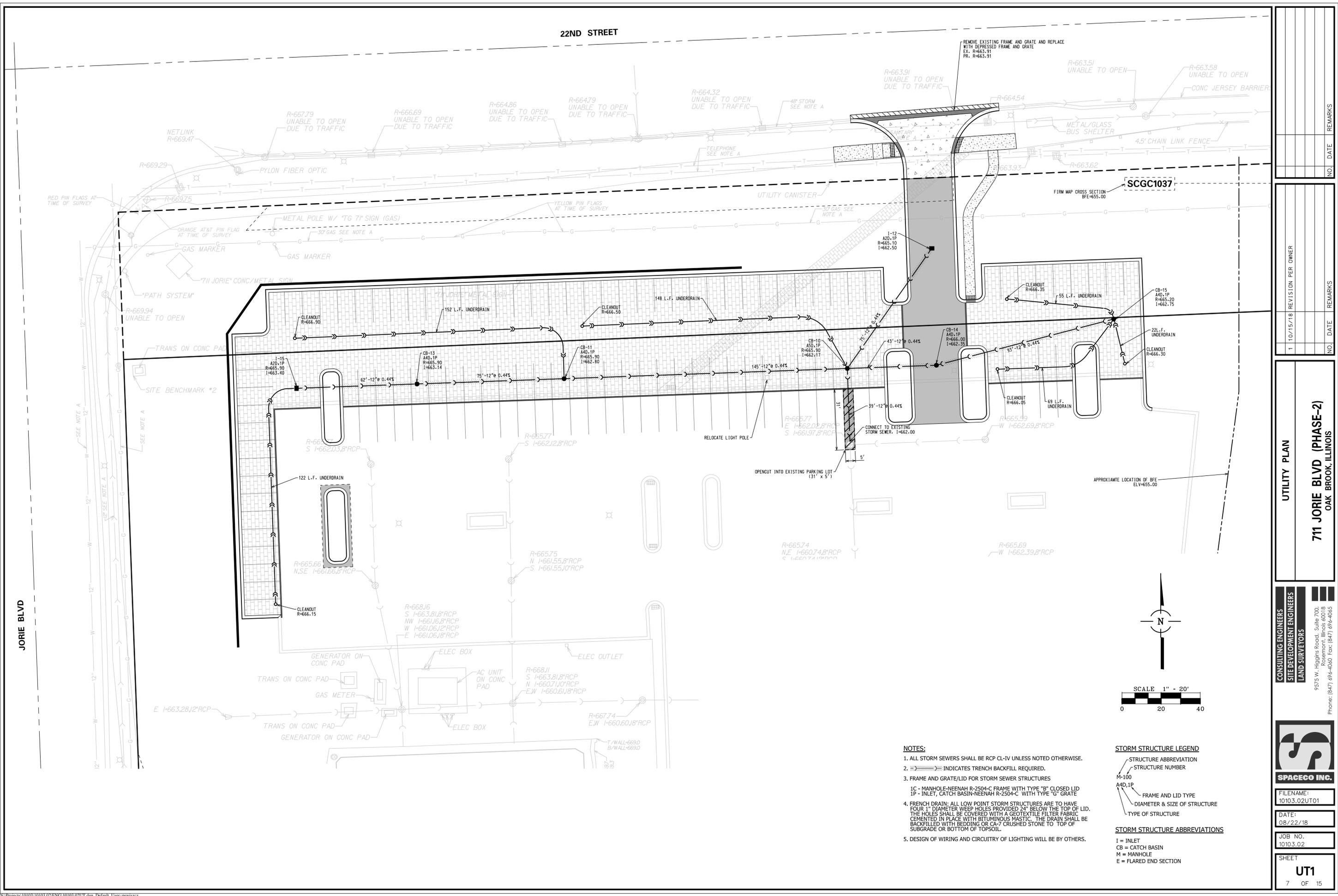


- LEGEND**
- F/F FINISHED FLOOR
 - LOCAL DRAINAGE
 - XX/XX TOP OF CURB
 - XX/XX EDGE OF PAVEMENT

- NOTES:**
1. ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
 2. ALL CURB AND GUTTER IS STANDARD PITCH-OUT UNLESS NOTED OTHERWISE.
 3. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 4. WETLAND LIMITS TO BE VERIFIED AT LATER DATE.

- NICOR / DRY UTILITY NOTES:**
1. PERMANENT PROTECTIVE MEASURES ARE NOT NEEDED, HOWEVER A 6 INCH ASPHALT SECTION THAT IS 7.5' OF EITHER SIDE OF THE GAS PIPE IS NEEDED.
 2. POTHOLES IS REQUIRED BY THE CONTRACTOR, DURING WORK, COORDINATE WITH NICOR WATCH & PROTECT SUPERVISOR.
 3. APPROXIMATE GAS PIPE DEPTH IS 48" VIA ELECTRONIC LOCATE.
 4. MINIMUM PROPOSED COVER MUST BE 36" OVER GAS PIPE.
 5. CALL JULIE, 1-800-892-0123 48 HOURS BEFORE CONSTRUCTION.
 6. CONTRACTOR TO FIELD VERIFY GAS PIPE ELEVATION AND COORDINATE WITH NICOR AND ENGINEER.
 7. CONTRACTOR TO FIELD VERIFY TELEPHONE CROSSING ELEVATION AND COORDINATE WITH RESPECTIVE PARTY AND ENGINEER.

<p>GRADING PLAN</p> <p>711 JORIE BLVD (PHASE-2)</p> <p>OAK BROOK, ILLINOIS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">CONSULTING ENGINEERS</td> <td style="width: 50%; text-align: center;">SITE DEVELOPMENT ENGINEERS</td> </tr> <tr> <td style="width: 50%; text-align: center;">LAND SURVEYORS</td> <td style="width: 50%; text-align: center;">LAND SURVEYORS</td> </tr> </table> <p style="font-size: small; text-align: center;">9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4065</p> <div style="text-align: center;"> <p>SPACECO INC.</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">FILENAME: 10103.02GR01</td> <td style="width: 50%;">DATE: 08/22/18</td> </tr> <tr> <td>JOB NO. 10103.02</td> <td>SHEET GR1</td> </tr> </table> <p style="text-align: right; font-size: x-small;">6 OF 15</p>	CONSULTING ENGINEERS	SITE DEVELOPMENT ENGINEERS	LAND SURVEYORS	LAND SURVEYORS	FILENAME: 10103.02GR01	DATE: 08/22/18	JOB NO. 10103.02	SHEET GR1
CONSULTING ENGINEERS	SITE DEVELOPMENT ENGINEERS								
LAND SURVEYORS	LAND SURVEYORS								
FILENAME: 10103.02GR01	DATE: 08/22/18								
JOB NO. 10103.02	SHEET GR1								



22ND STREET

JORIE BLVD

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	10/15/18	REVISION PER OWNER

UTILITY PLAN
711 JORIE BLVD (PHASE-2)
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

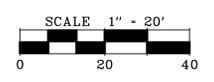
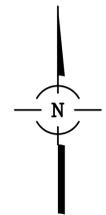
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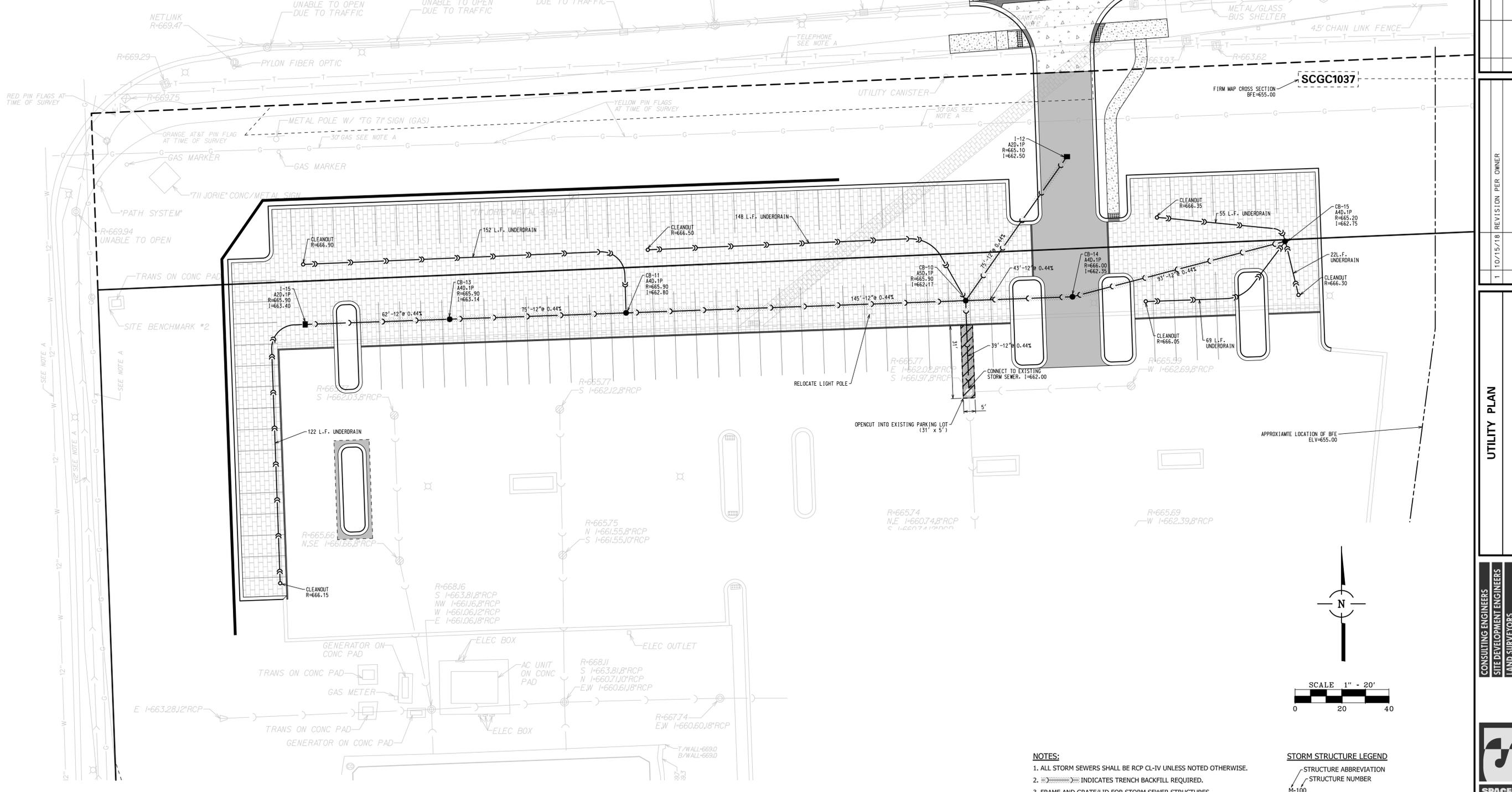
FILENAME: 10103.02UT01
DATE: 08/22/18
JOB NO. 10103.02
SHEET UT1
7 OF 15

- NOTES:**
- ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 - INDICATES TRENCH BACKFILL REQUIRED.
 - FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
1C - MANHOLE-NEENAH R-2504-C FRAME WITH TYPE "B" CLOSED LID
1P - INLET, CATCH BASIN-NEENAH R-2504-C WITH TYPE "C" GRATE
 - FRENCH DRAIN: ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.
 - DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.

- STORM STRUCTURE LEGEND**
- STRUCTURE ABBREVIATION
 - STRUCTURE NUMBER
 - M-100
 - A4D,1P
 - FRAME AND LID TYPE
 - DIAMETER & SIZE OF STRUCTURE
 - TYPE OF STRUCTURE
- STORM STRUCTURE ABBREVIATIONS**
- I = INLET
 - CB = CATCH BASIN
 - M = MANHOLE
 - E = FLARED END SECTION

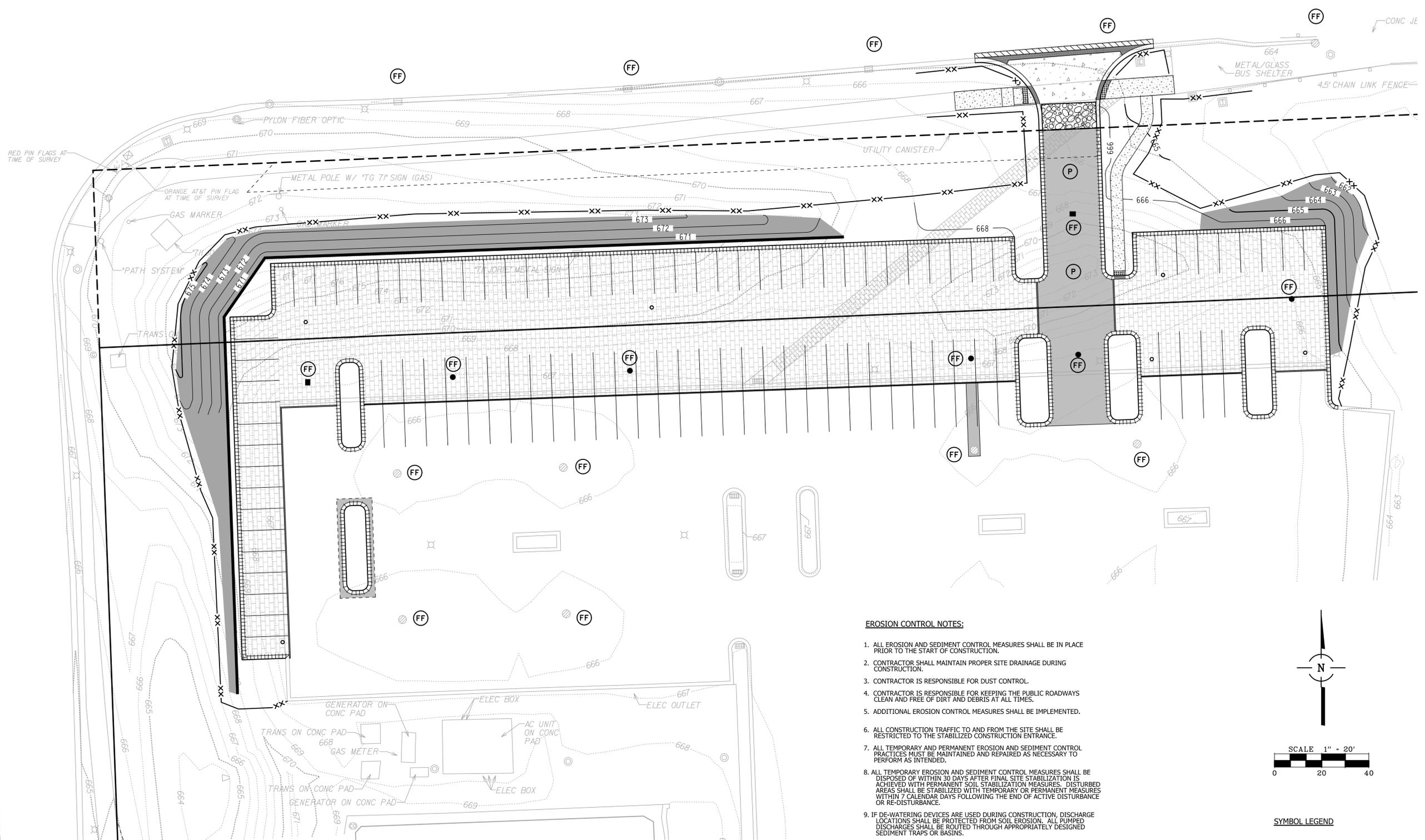


APPROXIMATE LOCATION OF BFE
ELV=655.00



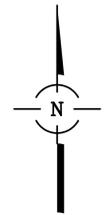
22ND STREET

JORIE BLVD



EROSION CONTROL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL.
4. CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC ROADWAYS CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
5. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED.
6. ALL CONSTRUCTION TRAFFIC TO AND FROM THE SITE SHALL BE RESTRICTED TO THE STABILIZED CONSTRUCTION ENTRANCE.
7. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED AND REPAIRED AS NECESSARY TO PERFORM AS INTENDED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED WITH PERMANENT SOIL STABILIZATION MEASURES. DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS FOLLOWING THE END OF ACTIVE DISTURBANCE OR RE-DISTURBANCE.
9. IF DE-WATERING DEVICES ARE USED DURING CONSTRUCTION, DISCHARGE LOCATIONS SHALL BE PROTECTED FROM SOIL EROSION. ALL PUMPED DISCHARGES SHALL BE ROUTED THROUGH APPROPRIATELY DESIGNED SEDIMENT TRAPS OR BASINS.
10. SEDIMENT CONTROL AREA AROUND PAVERS TO CONSIST OF A 6" DEPRESSION BELOW EXISTING PAVEMENT. AREA TO BE LOW PRESSURE WASHED AND VACUUMED BEFORE INSTALLATION OF PERMEABLE PAVERS. AFTER STABILIZATION AREA TO BE FILLED WITH PROPOSED PAVEMENT.
11. CONSTRUCTION TRAFFIC IS NOT ALLOWED TO USE PRATT AVENUE AS DIRECTED BY THE VILLAGE. ENTRANCE ON SITE WILL BE FROM IL-50.
12. TEMPORARY CONSTRUCTION ENTRANCE TO CONSIST OF A MINIMUM OF 6" BASE COURSE (GRAVEL OR CRUSHED STONE CONFORMING TO COARSE AGGREGATE CA-6 SPECIFICATIONS) AND SURFACED WITH 2 INCHES OF CLASS 1 BITUMINOUS CONCRETE.



SYMBOL LEGEND

-  STABILIZED CONSTRUCTION ENTRANCE
-  SILT FENCE
-  INLET PROTECTION
-  PAVING
-  PERMANENT SEEDING
-  EROSION CONTROL BLANKET
S75BN - NORTH AMERICAN GREEN

SOIL EROSION CONTROL PLAN-3

711 JORIE BLVD (PHASE-2)
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



SPACECO INC.

FILENAME:
10103.02SE03

DATE:
08/22/18

JOB NO.
10103.02

SHEET

SE3

10 OF 15

NO.	DATE	REMARKS

NO.	DATE	REMARKS

EARTHWORK NOTES	PAVING NOTES	STORM SEWER NOTES			REVISIONS						
<p>1. GENERAL</p> <p>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.</p> <p>B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LOW-BID FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECONSIDERED UNLESS ORDERED IN WRITING BY THE OWNER.</p> <p>C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.</p> <p>D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</p> <p>E. PLANS FOR THE SITE Dewatering, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION.</p> <p>F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES", THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC. TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION MAY BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.</p> <p>G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERCT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.</p> <p>H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</p> <p>I. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.</p> <p>2. TOPSOIL EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.</p> <p>B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.</p> <p>C. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.</p> <p>D. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</p> <p>E. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p>3. EARTH EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.</p> <p>B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.</p> <p>STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALKS, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.</p> <p>D. EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT REQUIRED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATED.</p> <p>4. UNSUITABLE MATERIAL</p> <p>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>5. MISCELLANEOUS THE CONTRACTOR SHALL:</p> <p>A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</p> <p>B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</p> <p>C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</p> <p>D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.</p> <p>E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.</p> <p>6. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.</p> <p>B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.</p> <p>C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.</p>	<p>1. GENERAL</p> <p>A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.</p> <p>B. COMPACTION REQUIREMENTS: [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUB-GRADE = 93%; SUB-BASE = 93%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = REFER TO SSBC ARTICLE 406.07. THE SOILS ENGINEER IS RESPONSIBLE FOR ENSURING THAT MATERIALS ARE PROPERLY PLACED AND COMPACTED.</p> <p>C. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND IN ACCORDANCE WITH THE MUNICIPAL CODE.</p> <p>2. SUB-GRADE PREPARATION</p> <p>A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE DEVELOPED WITH GRADING OF 2-500 PER CENT ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.</p> <p>B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. THE SOILS ENGINEER SHALL CONDUCT AND THE VILLAGE SHALL WITNESS ALL PROOF ROLLS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED IN A MANNER APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:</p> <ol style="list-style-type: none"> 1) SCARIFY DISC AND AERATE. 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL. 4) USE OF GEOTEXTILE FABRIC. <p>MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2" IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.</p> <p>C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.</p> <p>D. PRIOR TO PLACEMENT OF THE BASE COURSE, ALL SUBGRADES MUST BE APPROVED BY THE MUNICIPAL ENGINEER, SOILS ENGINEER AND/OR OWNER.</p> <p>3. CONCRETE WORK</p> <p>A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS SJ OR PV PER (SSBCC) SECTION 1020.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) INCHES AND SHEVEN (7) INCHES PERPENDICULAR TO THE DIRECTION OF TRAVEL, IN THAT FOURTEEN (14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1.50 LBS OF COLLATED, FILLERATED, POLYPROPYLENE OLEFIN FIBERS 0.50 TO 0.75 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF CONCRETE USED FOR SIDEWALKS. THE FIBERS SHALL BE AS MANUFACTURED UNDER THE NAME "FIBERMESH" OR EQUAL.</p> <p>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PREMULDED FIBER EXPANSION JOINTS WITH TWO (2) 4" X 18" EPOXY COATED STEEL BOMEL BARS, SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE BOMEL BARS SHALL BE GREASED AND FITTED WITH WOOD EXPANSION TUBES. SAWED OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.</p> <p>C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. CONCRETE CURE FOR AT LEAST SEVEN (7) DAYS BEFORE THE CURBS ARE BACKFILLED.</p> <p>E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 FOOT INTERVALS AND 1/2" PREMULDED FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.</p> <p>F. CONCRETE DRIVEWAY APRONS SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE 6" X 6" NO. 6 WELDED WIRE MESH IN DRIVEWAYS. PROVIDE 1/2" PREMULDED FIBER EXPANSION JOINT ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE SAWED OR FORMED CONTRACTION JOINT AT MID-POINT AND 15 FOOT MAXIMUM.</p> <p>G. STANDARD REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. SAWED OR FORMED CONTRACTION EXPANSION JOINTS SHALL BE AS SHOWN ON THE PLANS.</p> <p>H. CONCRETE CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH (SSBCC) - METHOD 1, II, OR III.</p> <p>I. THE COST OF AGGREGATE BASE OR SUB-BASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.</p> <p>4. FLEXIBLE PAVEMENT</p> <p>A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B; BITUMINOUS CONCRETE BINDER COURSE; AND BITUMINOUS CONCRETE SURFACE COURSE OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.</p> <p>B. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE BITUMINOUS M.C. 30.</p> <p>C. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED, AND TACK COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS SPECIFIED IN (SSBCC) SECTION 406.02.</p> <p>D. SEAMS IN BASE, BINDER AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6".</p> <p>E. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE BITUMINOUS CONCRETE BINDER COURSE TO WEATHER ONE (1) WINTER SEASON PRIOR TO THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE UNLESS OTHERWISE SPECIFIED BY THE MUNICIPAL ENGINEER OR OWNER.</p> <p>5. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPALITY. TESTING SHALL BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE TESTING REQUIREMENTS OF THE MUNICIPALITY.</p> <p>B. WHEN REQUESTED BY THE OWNER, TEST RESULTS AND DOCUMENTATION FOR THE CONCRETE, BASE COURSE, BITUMINOUS CONCRETE BINDER, AND/OR SURFACE COURSE, SHALL BE SUBMITTED FOR VERIFICATION.</p> <p>C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.</p> <p>D. WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSBCC), ART. 407.10.</p> <p>E. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.</p>	<p>1. GENERAL:</p> <p>A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS. IN ACCORDANCE WITH THE FOLLOWING:</p> <p>PLAN CODE: MATERIAL RCP: REINFORCED CONCRETE PIPE (ASTM C-76) WITH O-RING GASKETED JOINTS. (ASTM C-493); TYPE 1, CLASS IV, PER (SSBCC SECTION 603). ELLIPTICAL RCP PIPE SHALL BE TYPE 1, HE-111 PER (SSBCC SECTION 511). PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS. PAVEMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT OF STORM SEWER COMPLETE IN PLACE.</p> <p>DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21-51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21-11). CEMENT LINING IS NOT REQUIRED.</p> <p>PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS.</p> <p>HOPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH; OR H1-0 BY HANCO, FINLEY.</p> <p>OH: JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER.</p> <p>UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOCK. PERFORATED HOPE PIPE ALSO ACCEPTABLE.</p> <p>B. "BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND SEAL", "FERROCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.</p> <p>C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>D. ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND.</p> <p>E. THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN OVER ANY PIPES WHICH HAVE LESS THAN THREE (3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.</p> <p>2. BEDDING:</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4" (IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HOPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.</p> <p>3. STRUCTURES:</p> <p>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8) INCHES OF ADJUSTING RINGS SHALL BE USED.</p> <p>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</p> <p>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</p> <p>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</p> <p>4. FRENCH DRAIN:</p> <p>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL. (FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>5. CASTINGS:</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE, NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</p> <p>6. CLEANING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</p> <p>7. TELEVISIONING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.</p>									
<p>SIGNING AND PAVEMENT MARKING</p> <p>1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSBCC), MUNICIPAL CODE AND THESE PLANS.</p> <p>2. CONTRACTOR SHALL ESTABLISH LOCATION OF ALL SIGNS AND MARKINGS FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.</p> <p>3. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH (SSBCC) SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCD AND AS SHOWN ON THE PLANS.</p> <p>4. POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSBCC) SECTION 729 [OR: 2" PERFORATED STEEL TUBE PER (SSBCC) SECTION 728].</p> <p>5. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSBCC) SECTIONS AND IDOT STANDARD 729001 EXCEPT AS MODIFIED BY THE PLANS.</p> <p>6. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP LINES, CENTER LINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSBCC) SECTION 760, EXCEPT AS MODIFIED BY THE PLANS. [NOTE TO ENGINEER: IDOT PREFERRED REFLECTORIZED PAINT ON CONCRETE PAVEMENT - CHECK WITH AGENCY WHO WILL MAINTAIN ROAD.]</p> <p>7. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATION, SHALL BE PAINT IN ACCORDANCE TO (SSBCC) SECTION 760, EXCEPT AS MODIFIED BY THE PLANS. REFLECTIVE BEADS ARE NOT REQUIRED.</p> <p>8. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD) EXCEPT AS MODIFIED BY THE PLANS.</p> <p>9. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.</p>											

SPECIFICATIONS

711 JORIE BLVD (PHASE-2)
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065



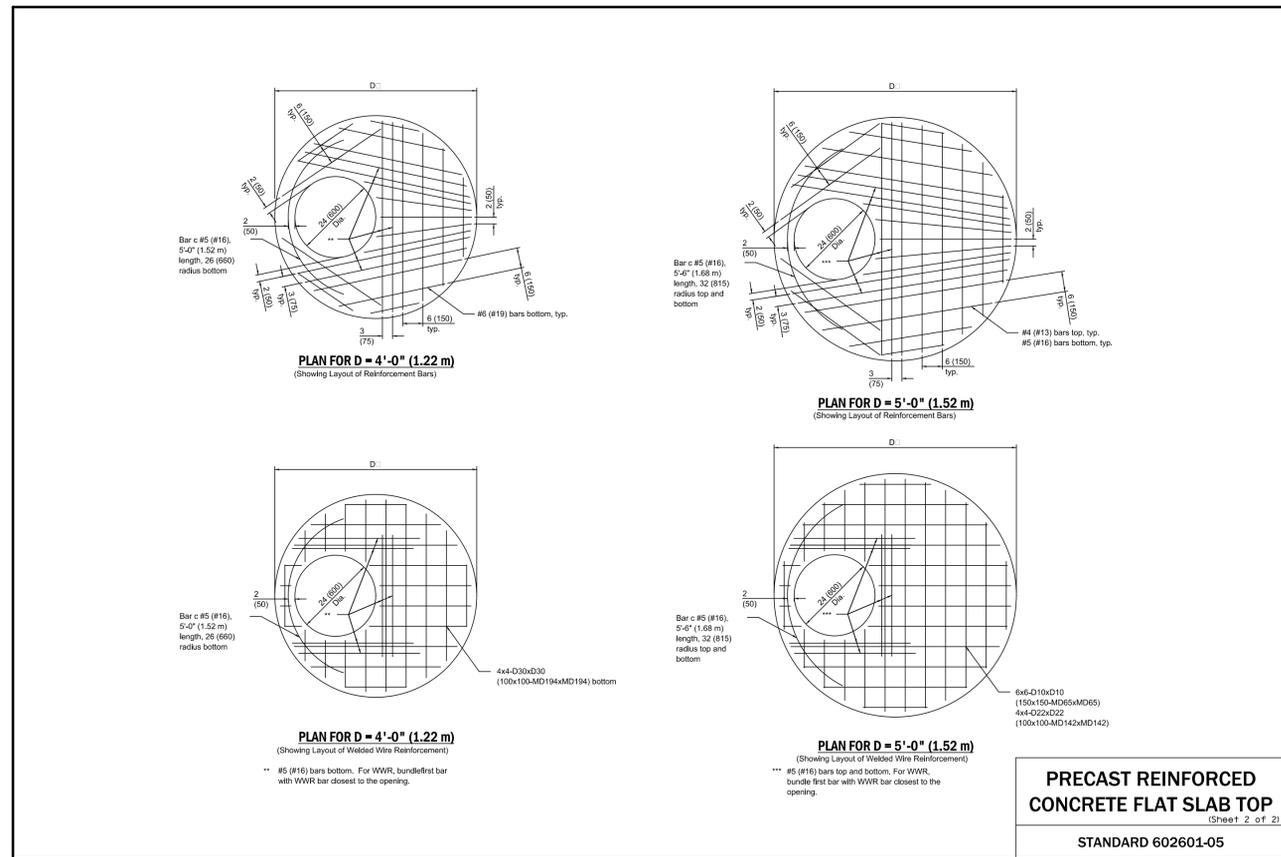
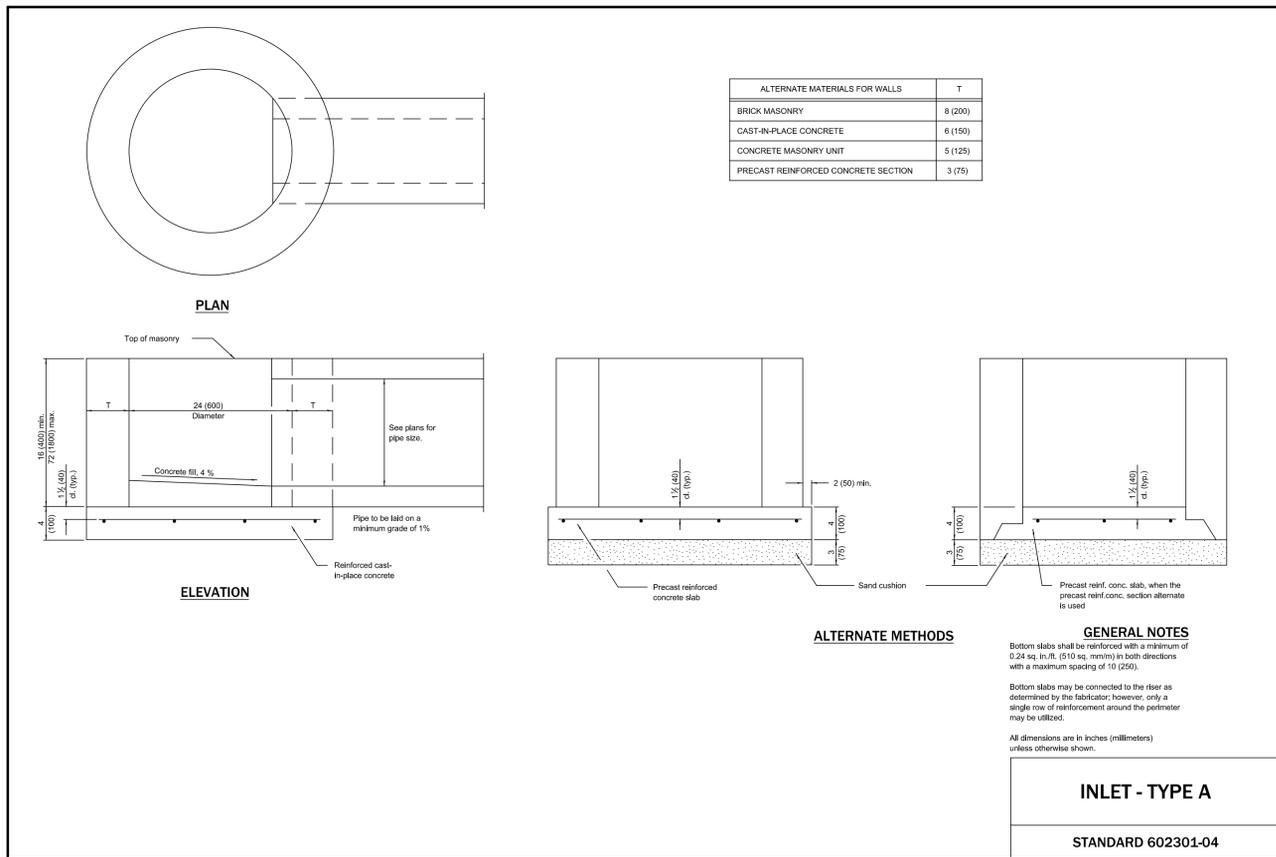
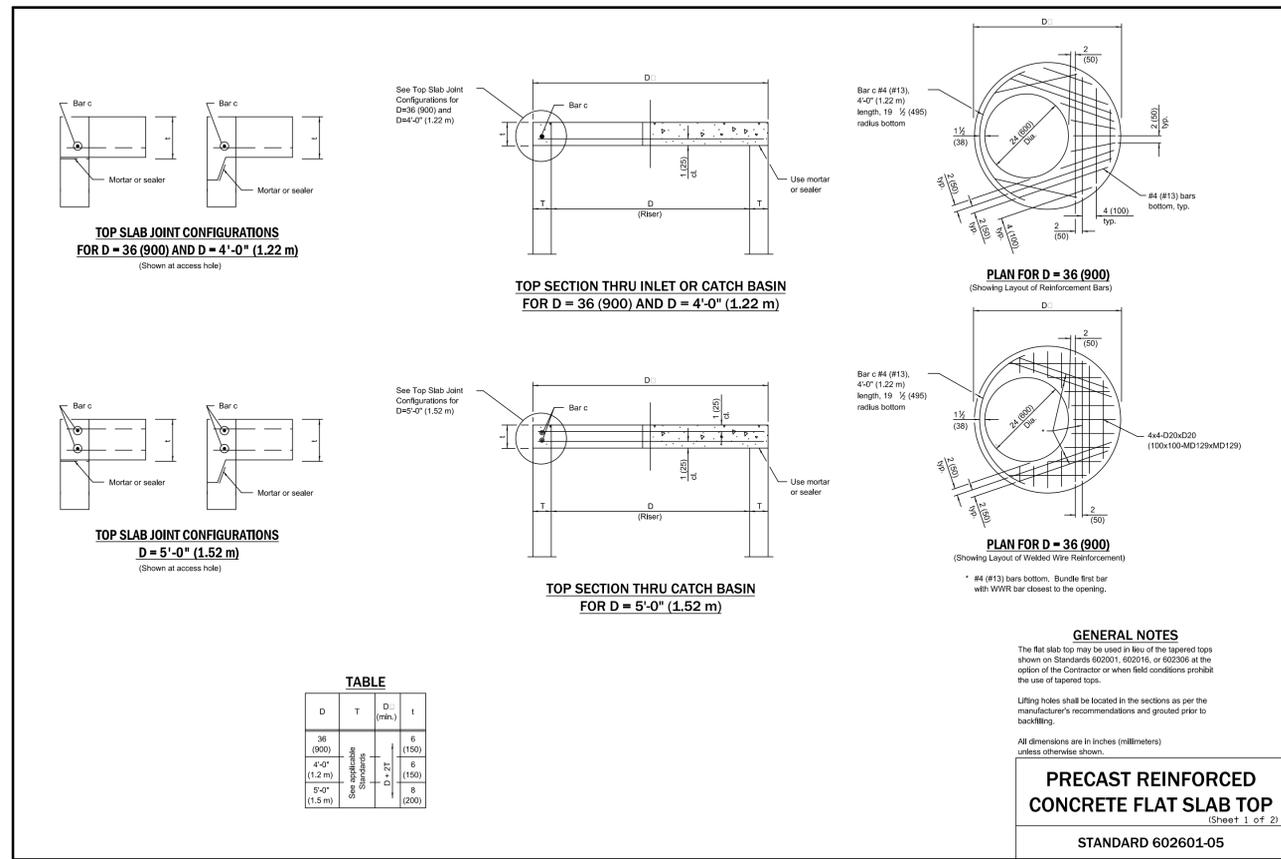
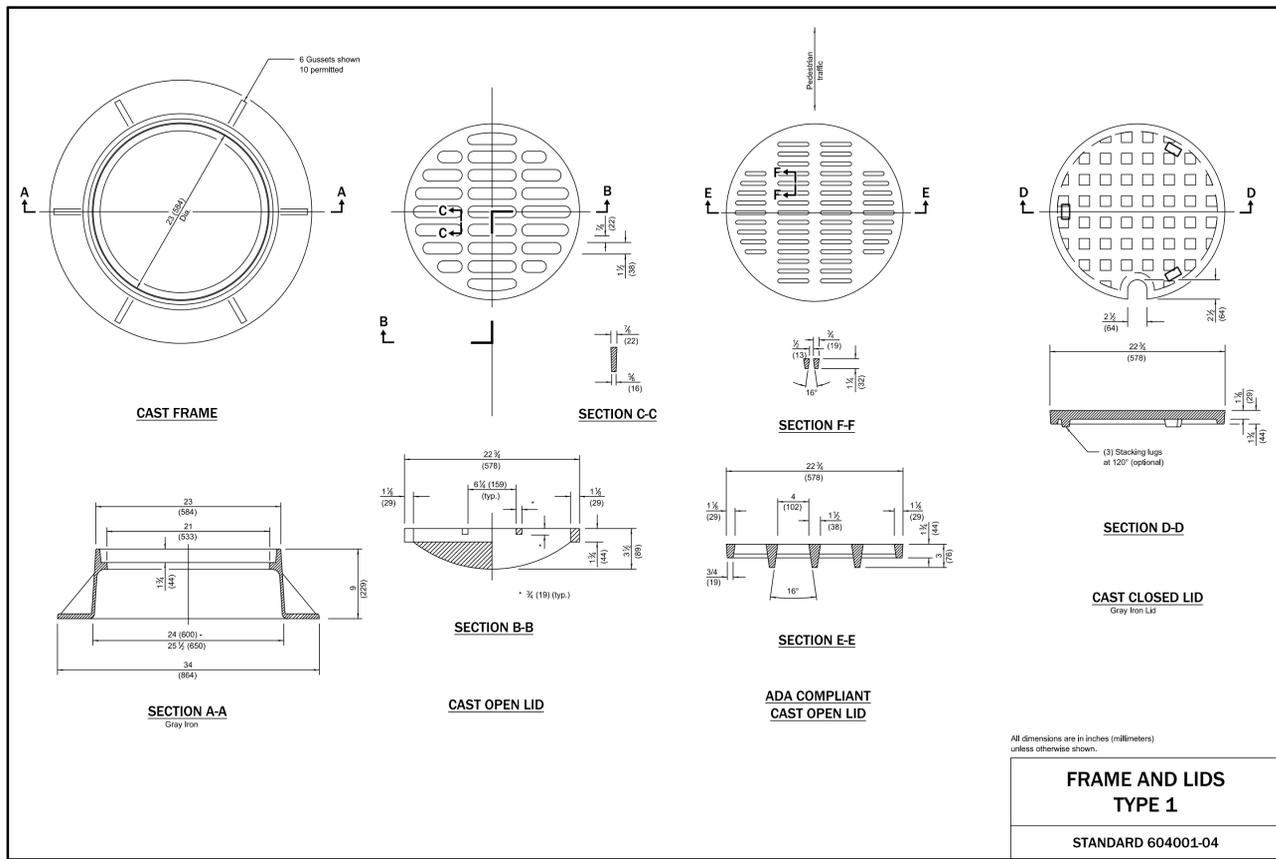
SPACECO INC.

FILENAME:
10103.02SPEC.dgn

DATE:
08/22/18

JOB NO.
10103.02

SHEET
SPEC
11 OF 15



NO.	DATE	REVISIONS PER IDOT	REMARKS
2	04/11/19		

DETAILS-1
711 JORIE BLVD (PHASE-2)
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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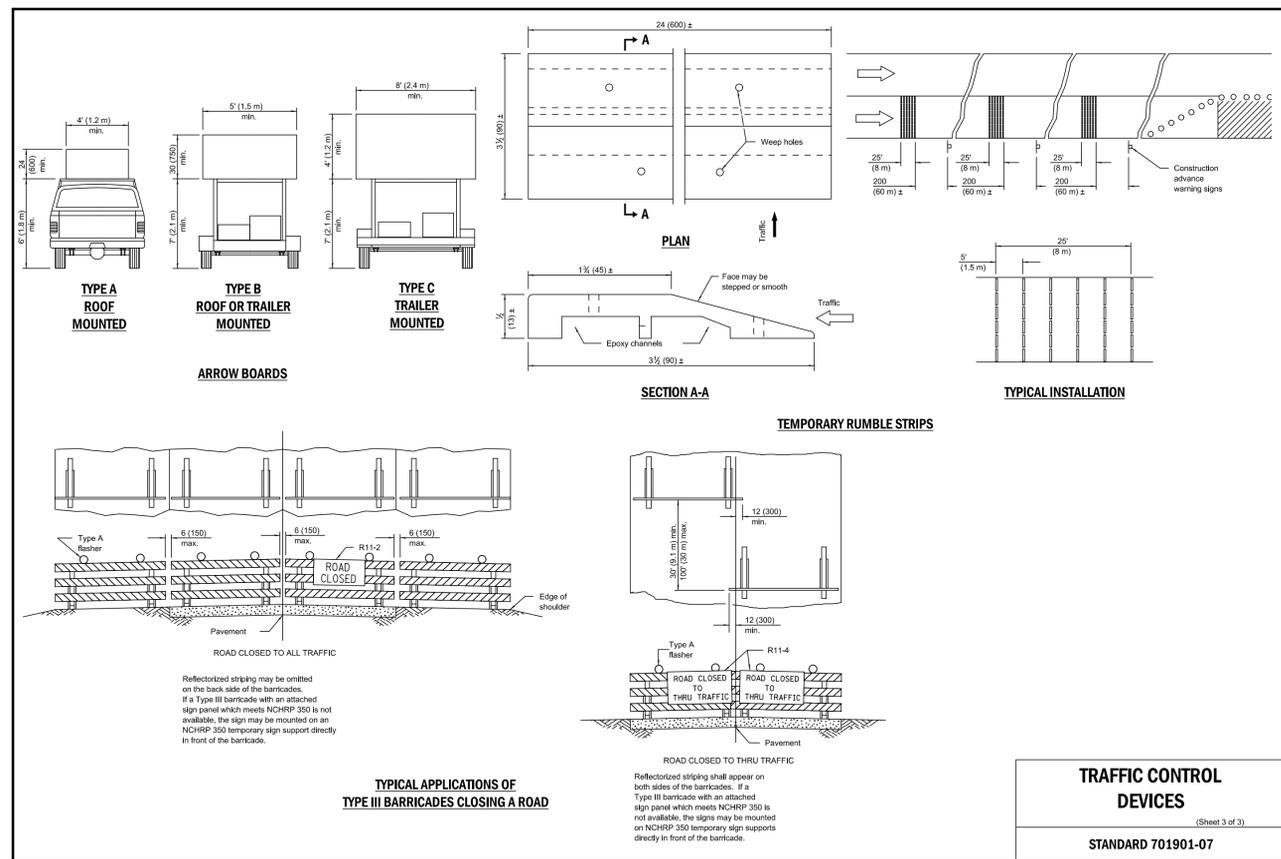
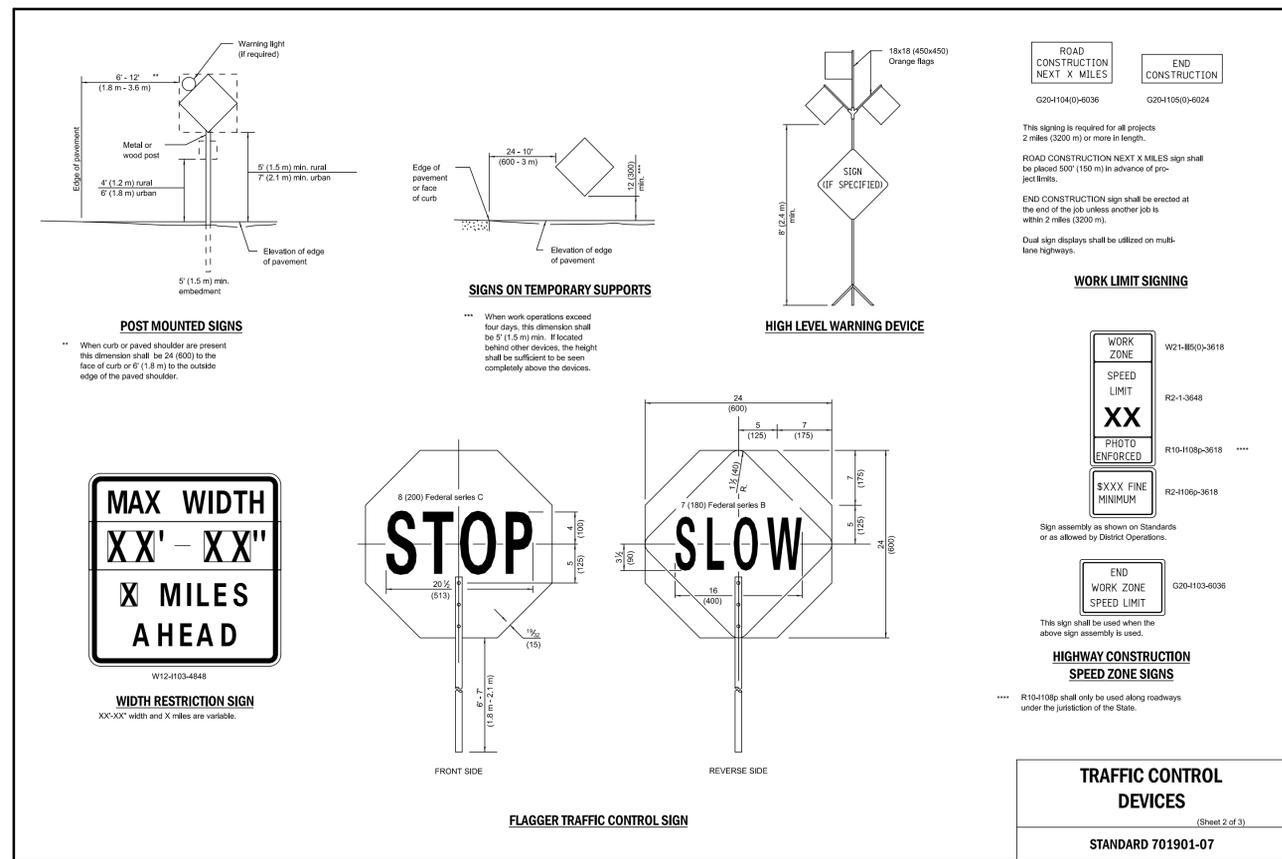
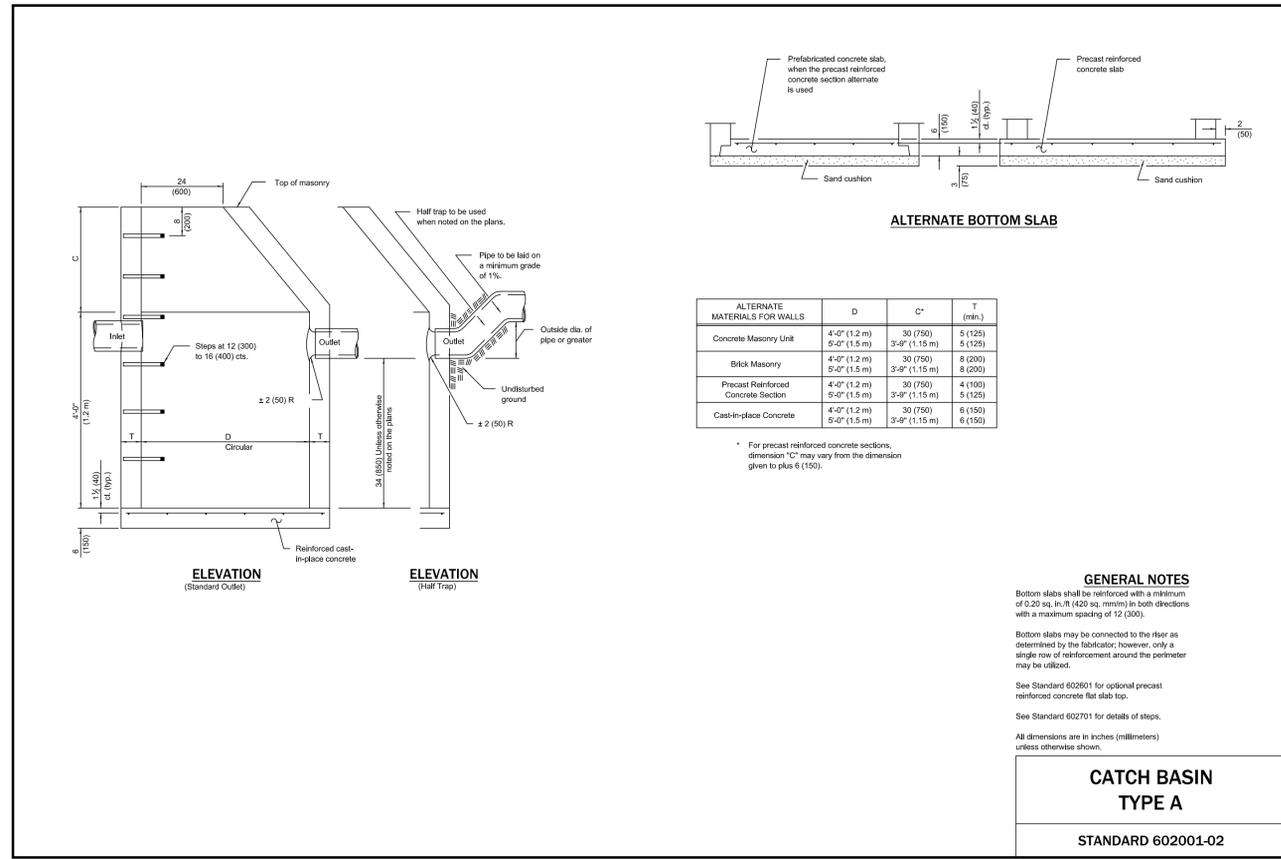
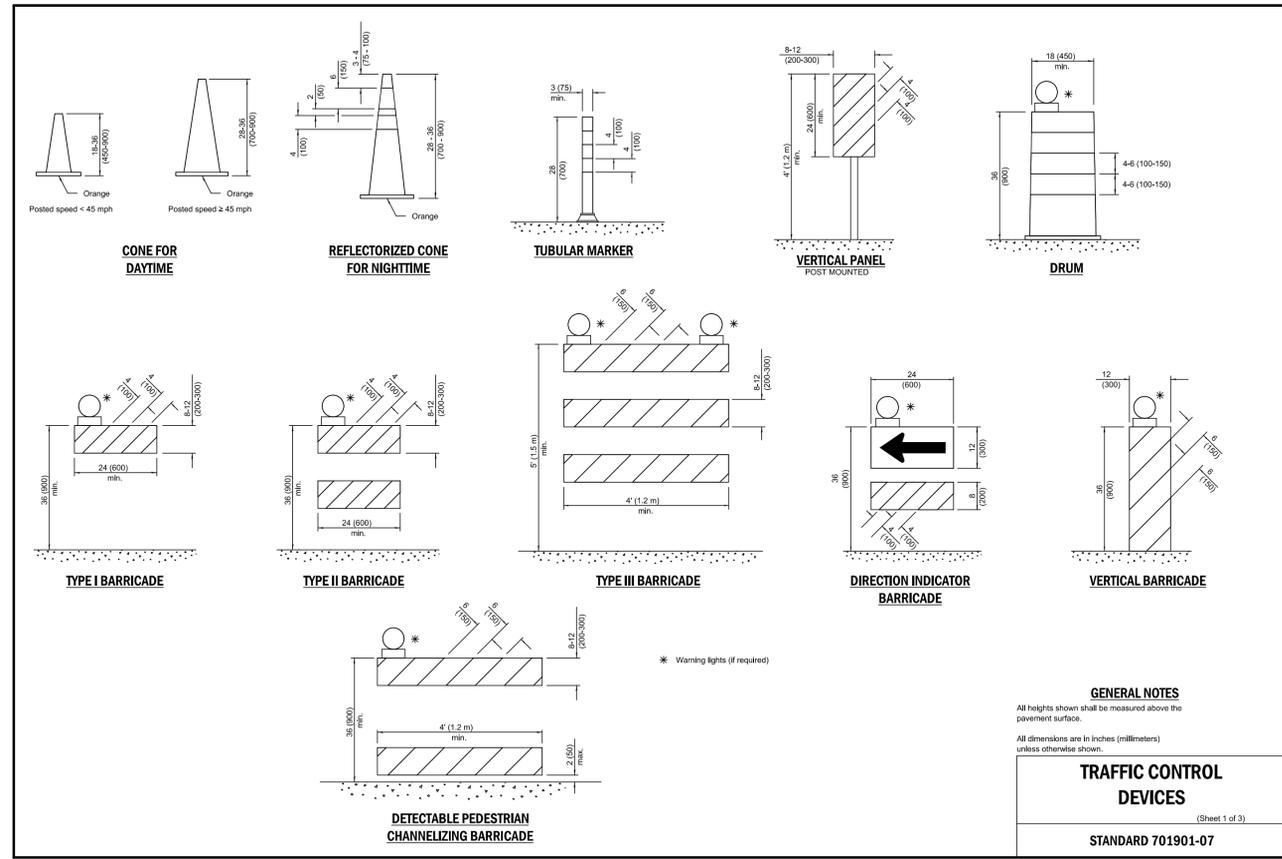
SPACECO INC.

FILENAME:
10103.02DET01

DATE:
08/22/18

JOB NO.
10103.02

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12 OF 15



NO.	DATE	REMARKS

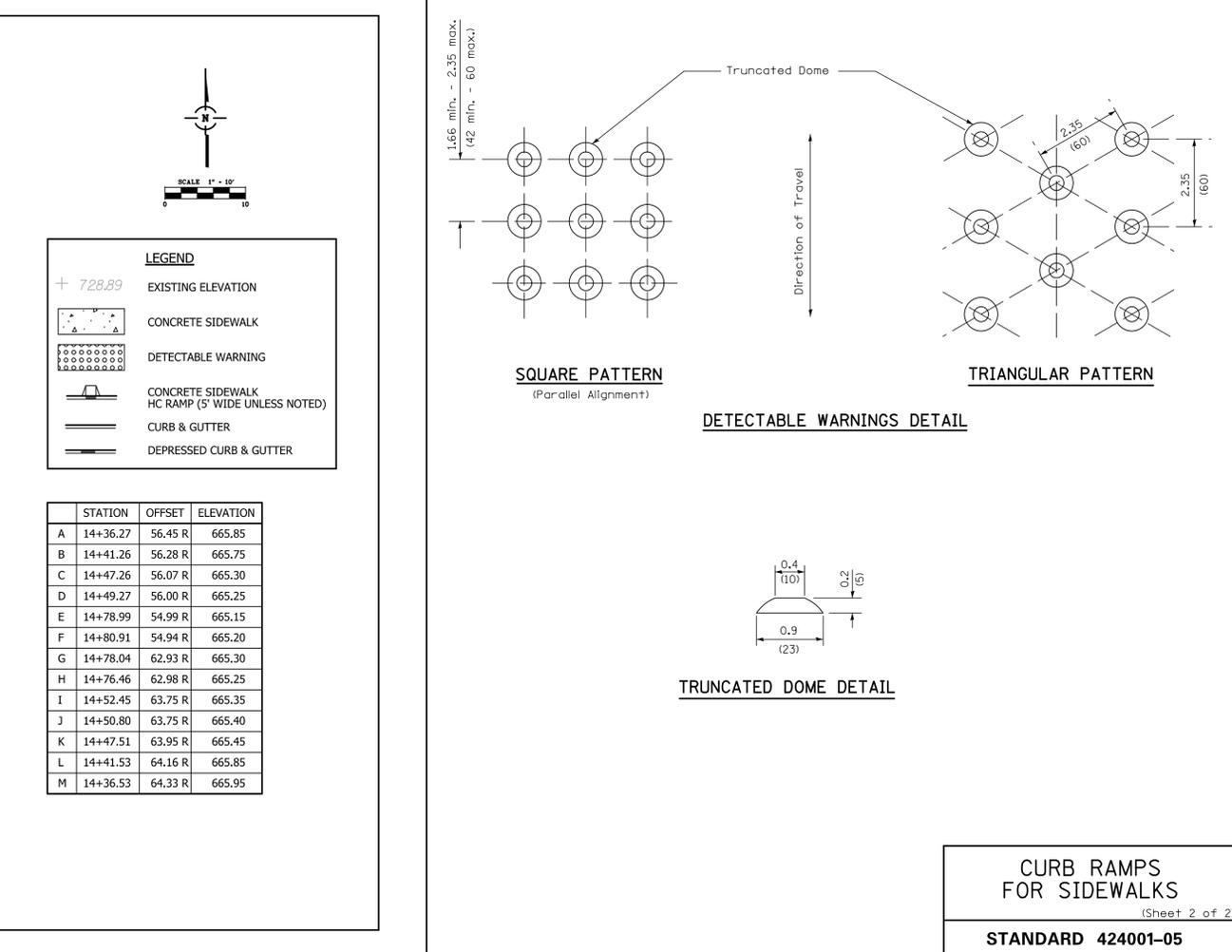
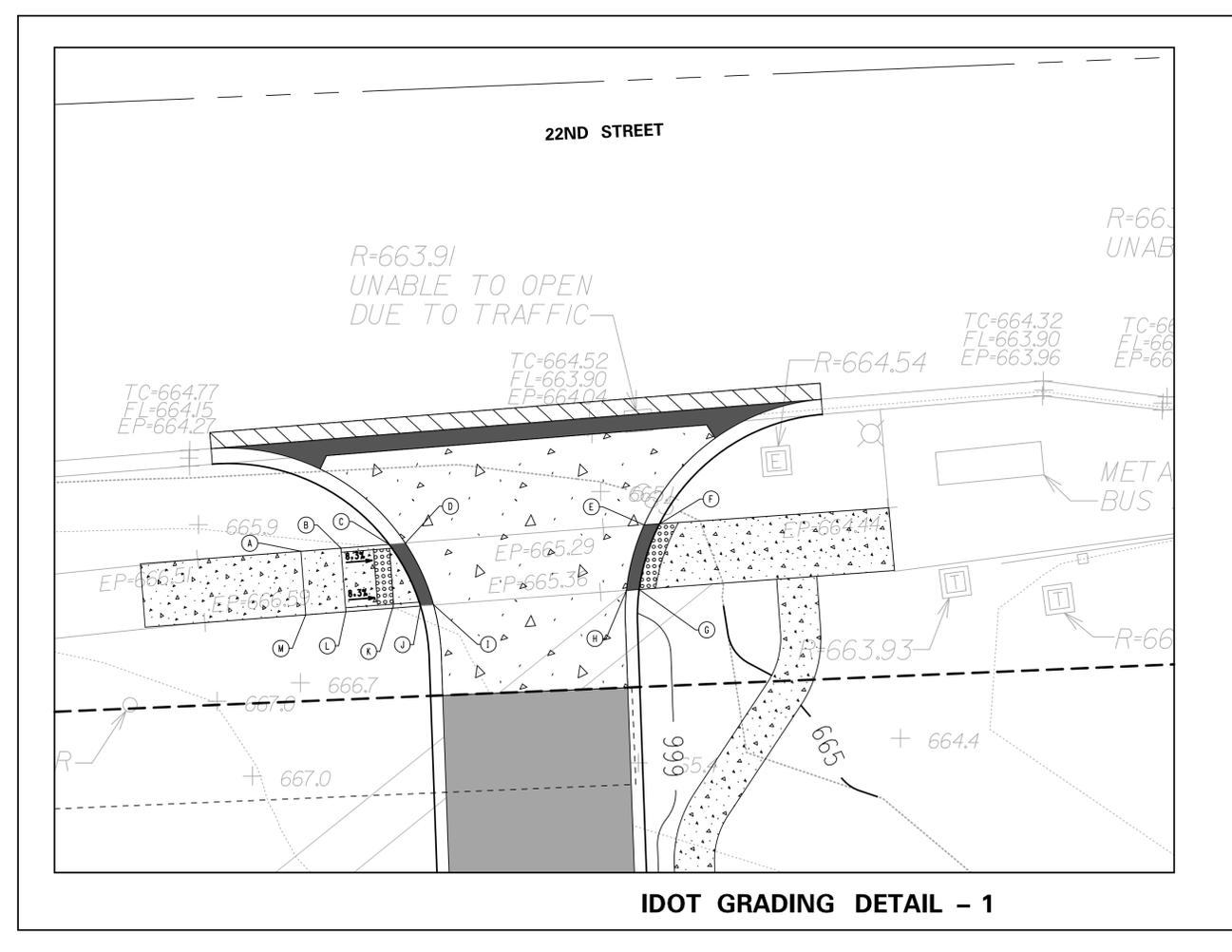
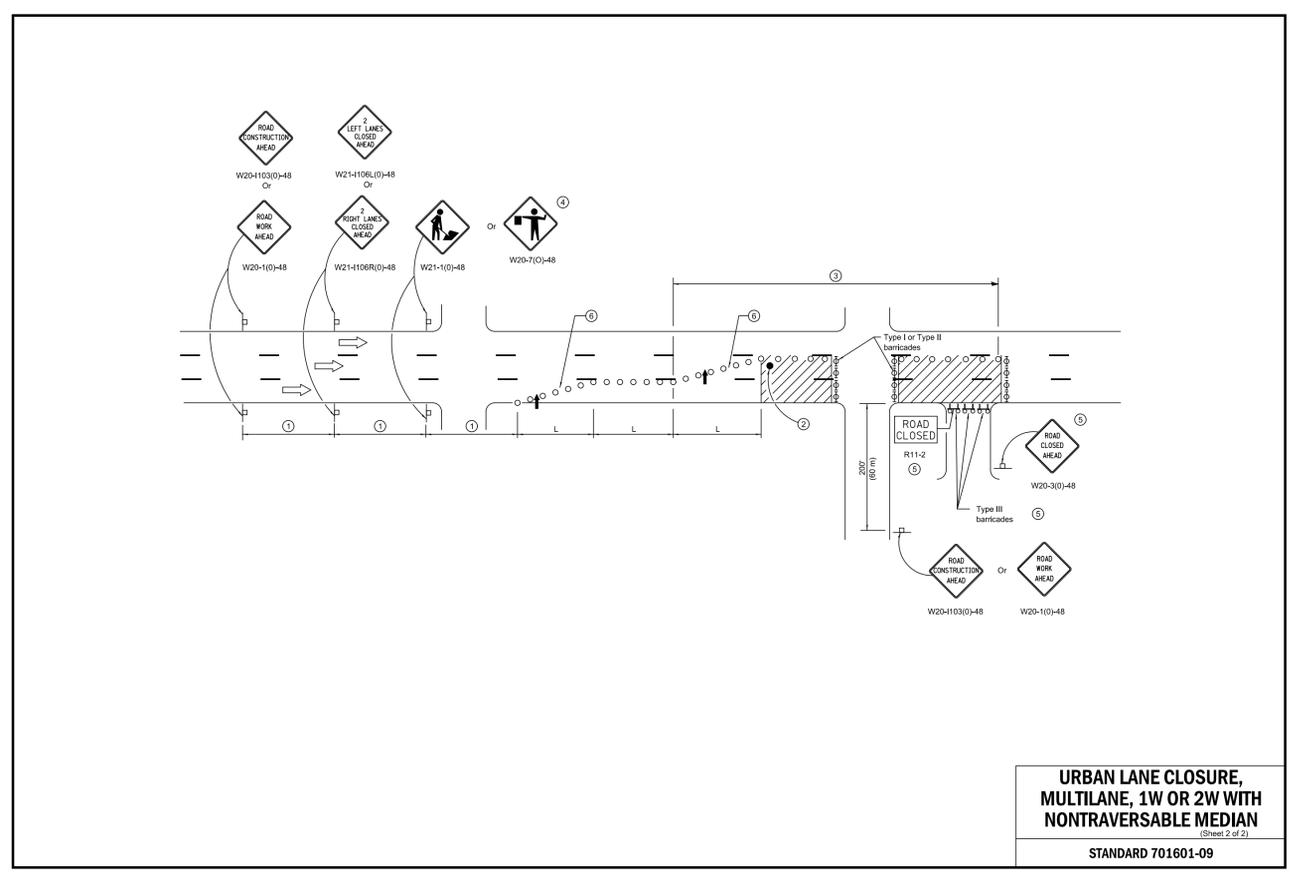
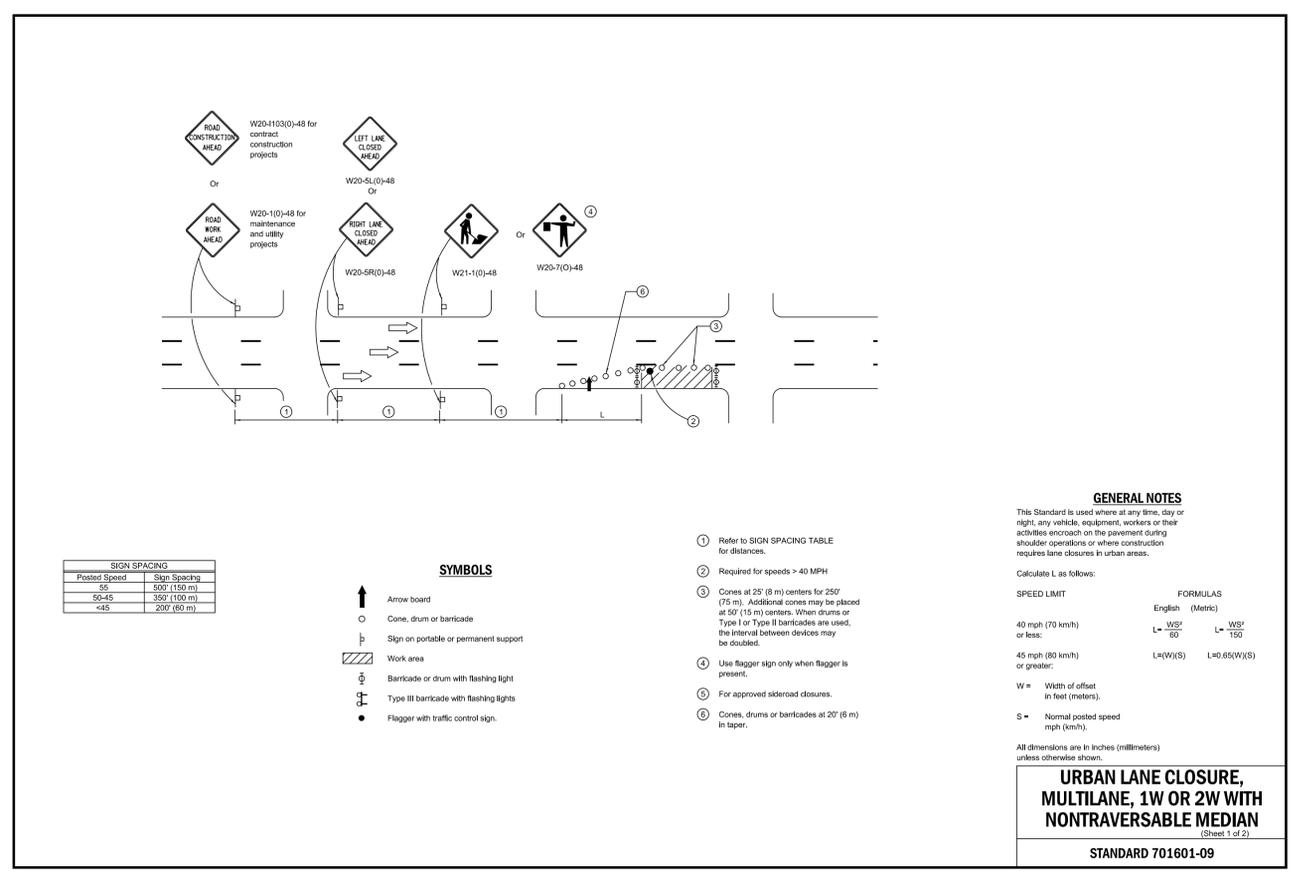
NO.	DATE	REMARKS
2	04/11/19	REVISIONS PER IDOT

DETAILS-2
711 JORIE BLVD (PHASE-2)
 OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
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FILENAME:	10103.02DET02
DATE:	08/22/18
JOB NO.	10103.02
SHEET	D2
	13 OF 15



NO. DATE REMARKS

2 04/11/19 REVISIONS PER IDOT

NO. DATE REMARKS

DETAILS-3

711 JORIE BLVD (PHASE-2)
 OAK BROOK, ILLINOIS

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 LAND SURVEYORS

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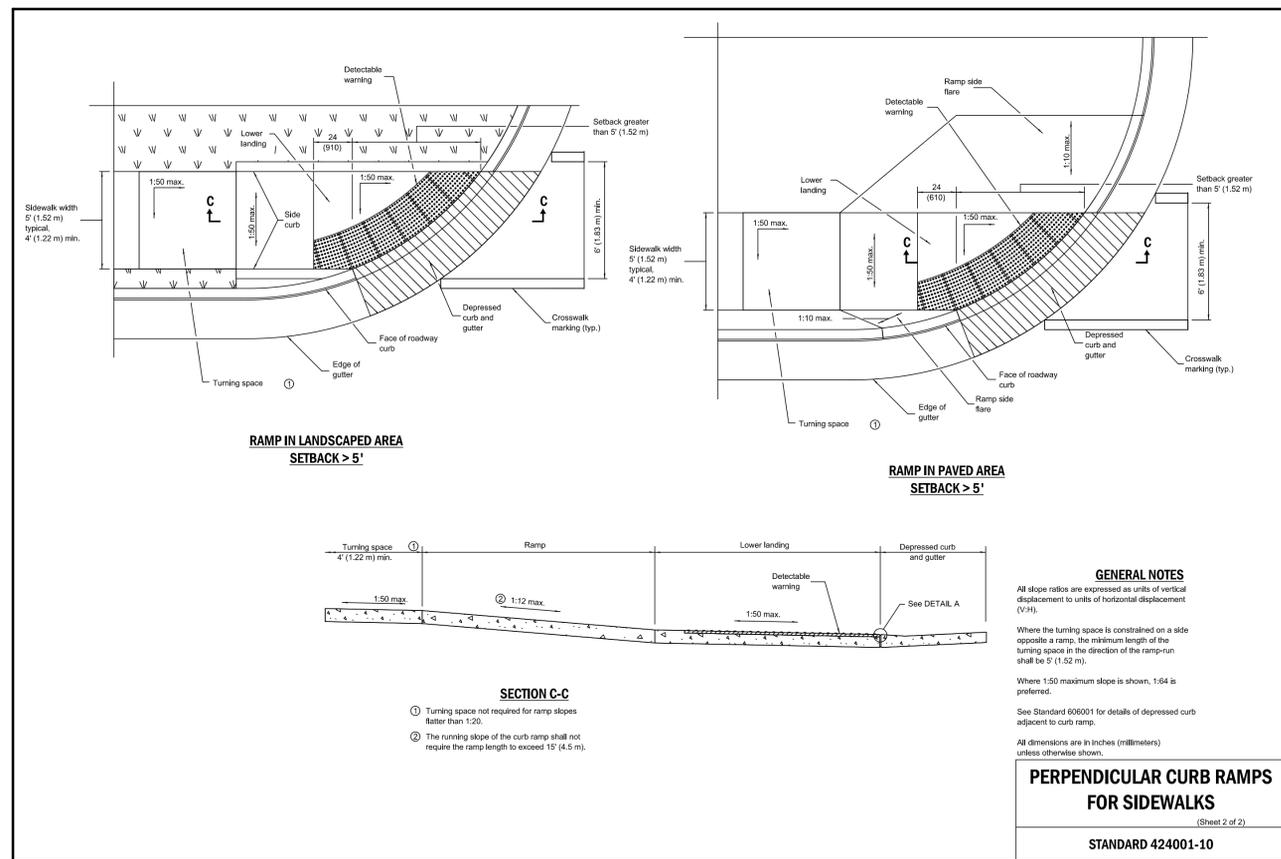
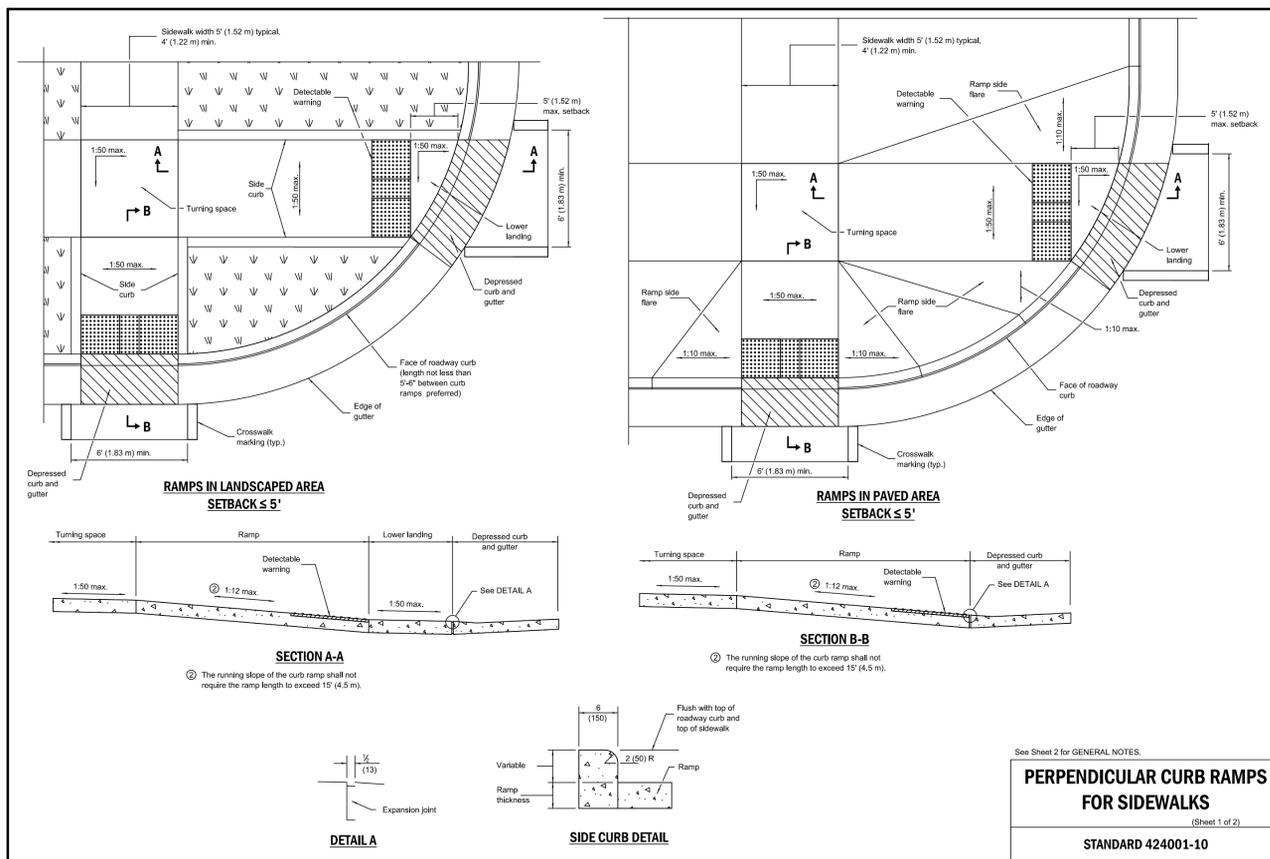
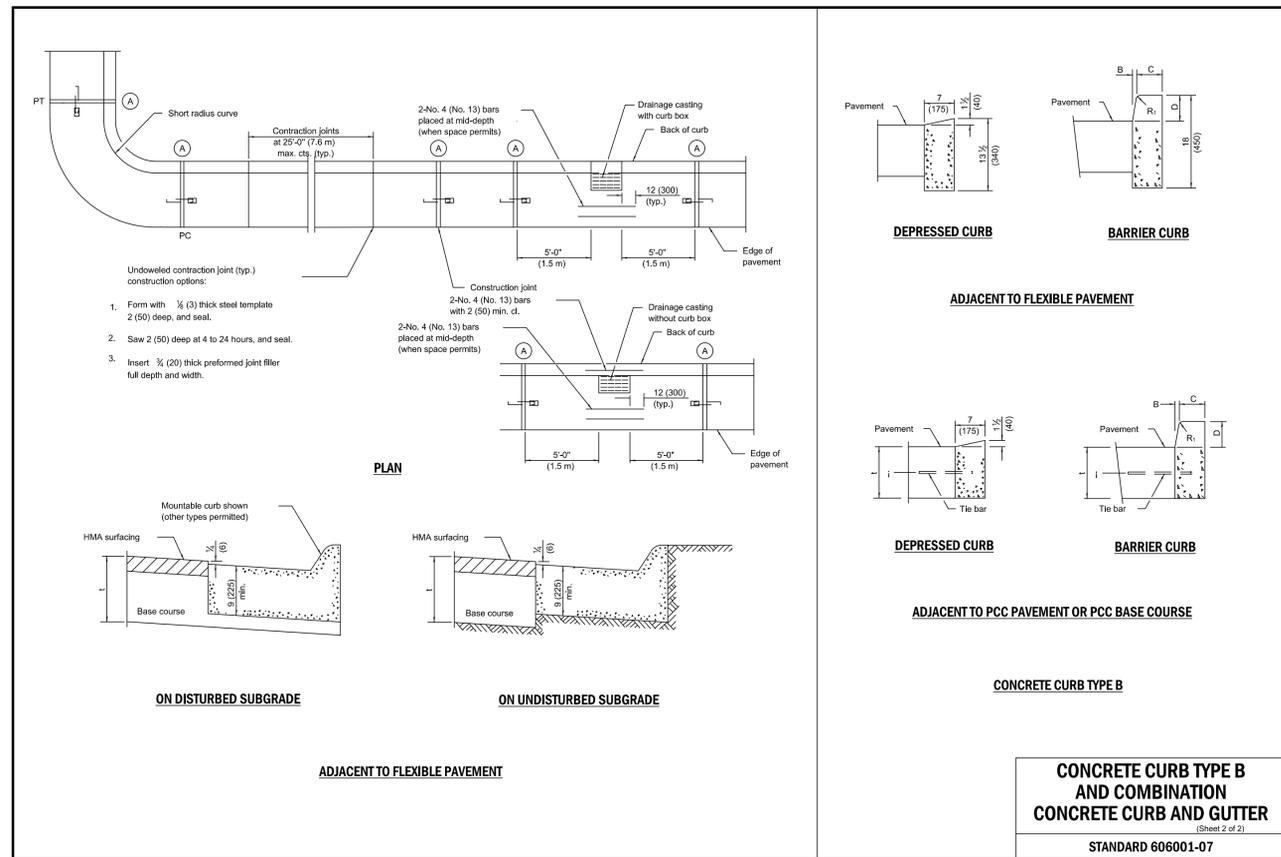
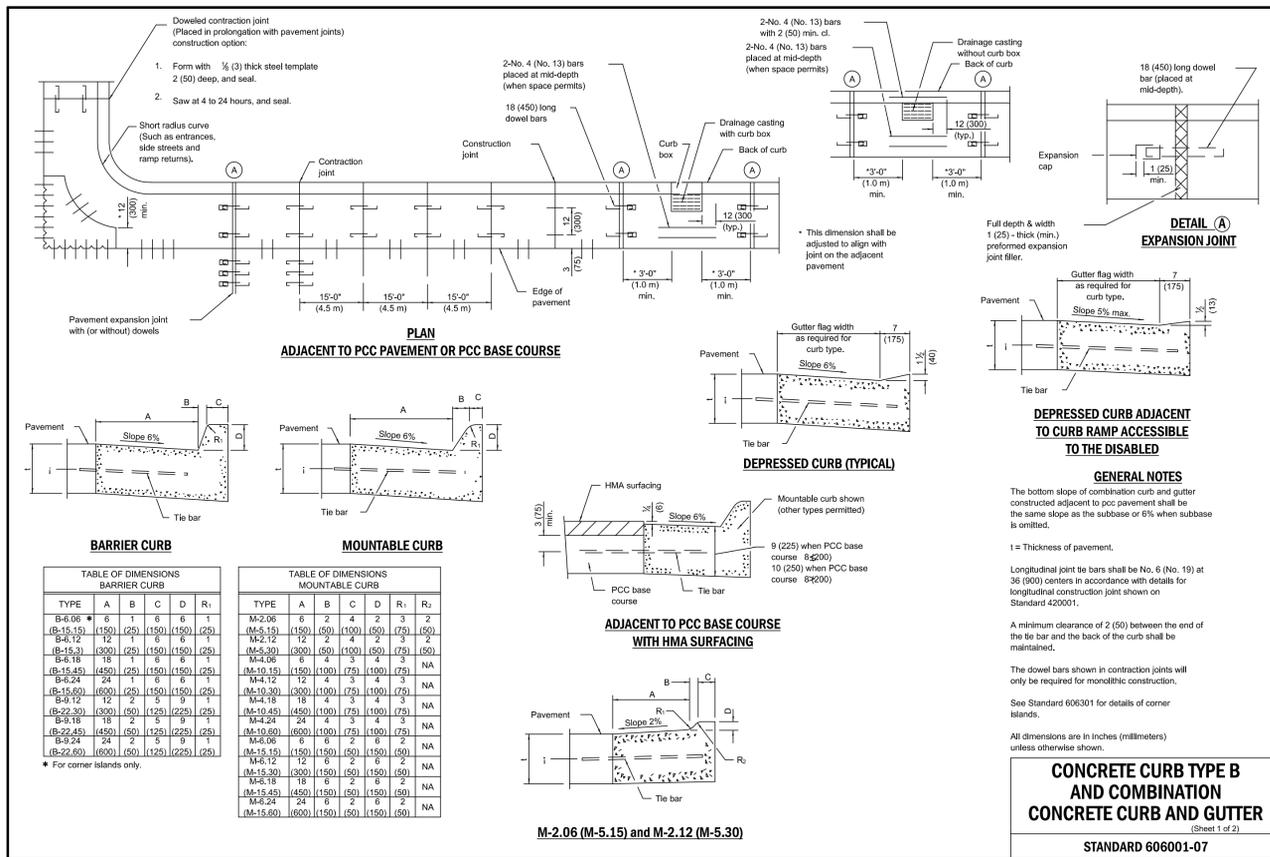
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FILENAME:
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DATE:
 08/22/18

JOB NO.
 10103.02

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 14 OF 15



NO.	DATE	REVISIONS	PERIOD	REMARKS
2	04/11/19	REVISED	PERIOD	DOT

DETAILS-4

711 JORIE BLVD (PHASE-2)

OAK BROOK, ILLINOIS

CONSULTING ENGINEERS

SITE DEVELOPMENT ENGINEERS

LAND SURVEYORS

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Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065

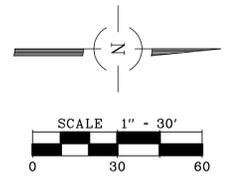
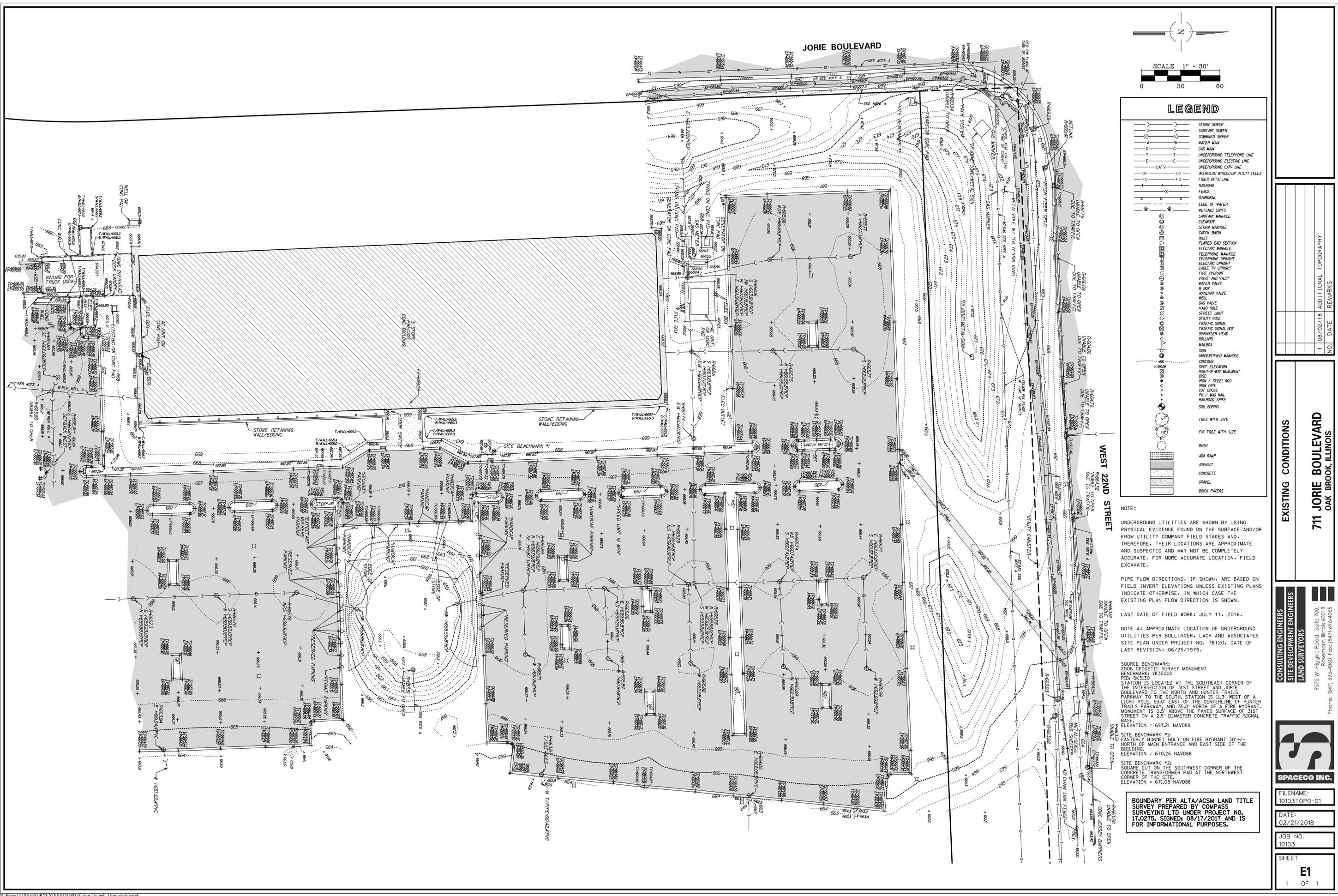
SPACECO INC.

FILENAME:
10103.02DET04

DATE:
08/22/18

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10103.02

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15 OF 15



LEGEND

	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	UNDERGROUND CATV LINE
	OVERHEAD WIRE(S) ON UTILITY POLES
	FIBER OPTIC LINE
	RAILROAD
	FENCE
	SUBGRADE
	EDGE OF WATER
	WETLAND LIMITS
	SANITARY MANHOLE
	CATCH BASIN
	INLET
	FLARED END SECTION
	ELECTRIC MANHOLE
	TELEPHONE UPRIGHT
	ELECTRIC UPRIGHT
	CABLE TV UPRIGHT
	FIRE HYDRANT
	VALVE AND VAULT
	WATER VALVE
	B BOX
	AERIAL VALVE
	WELL
	HAND HOLE
	STREET LIGHT
	UTILITY POLE
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL BOX
	SPRINKLER HEAD
	BXLAND
	MANHOLE
	UNDERSIZED MANHOLE
	CONTOUR
	SPOT ELEVATION
	RIGHT-OF-WAY MONUMENT
	D.C. (DITCH CROSS)
	IRON PIPE
	CUT CROSS
	1/4\"/>
	RAILROAD SPIKE
	SOIL BORING
	TREE WITH SIZE
	FIR TREE WITH SIZE
	BUSH
	ADA RAMP
	ASPHALT
	CONCRETE
	GRAVEL
	BRICK PAVERS

EXISTING CONDITIONS

NO.	DATE	REMARKS
1	08/02/18	ADDITIONAL TOPOGRAPHY

711 JORIE BOULEVARD
OAK BROOK, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

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Phone: (847) 676-4060 Fax: (847) 676-4065



FILENAME:
10103TOPO-01

DATE:
02/21/2018

JOB NO.
10103

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E1
1 OF 1

NOTE:
UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.

PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE, IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.

LAST DATE OF FIELD WORK: JULY 11, 2018.

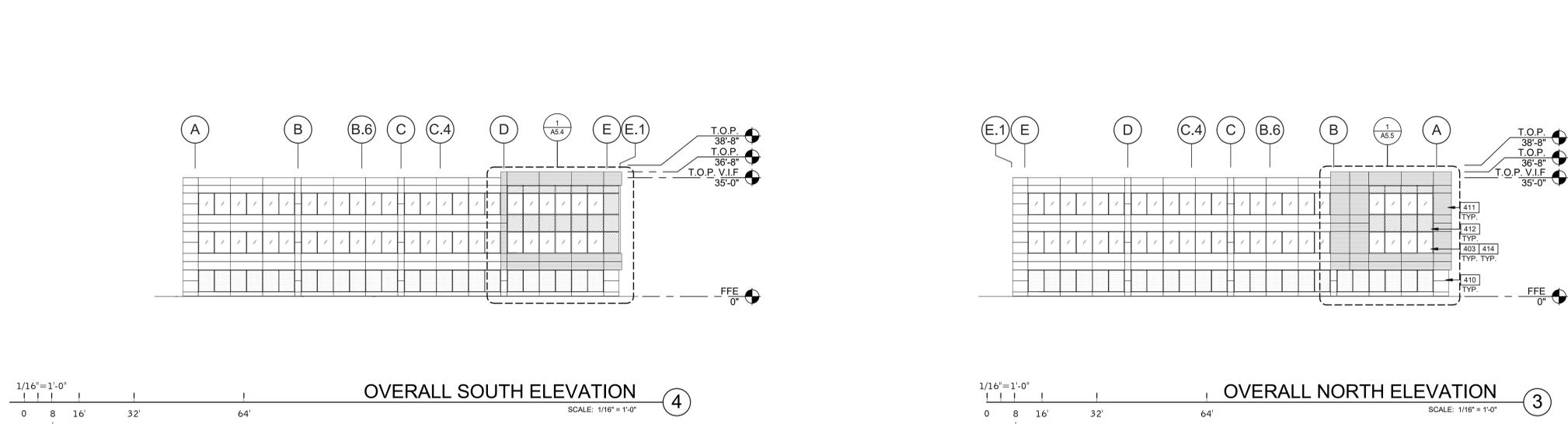
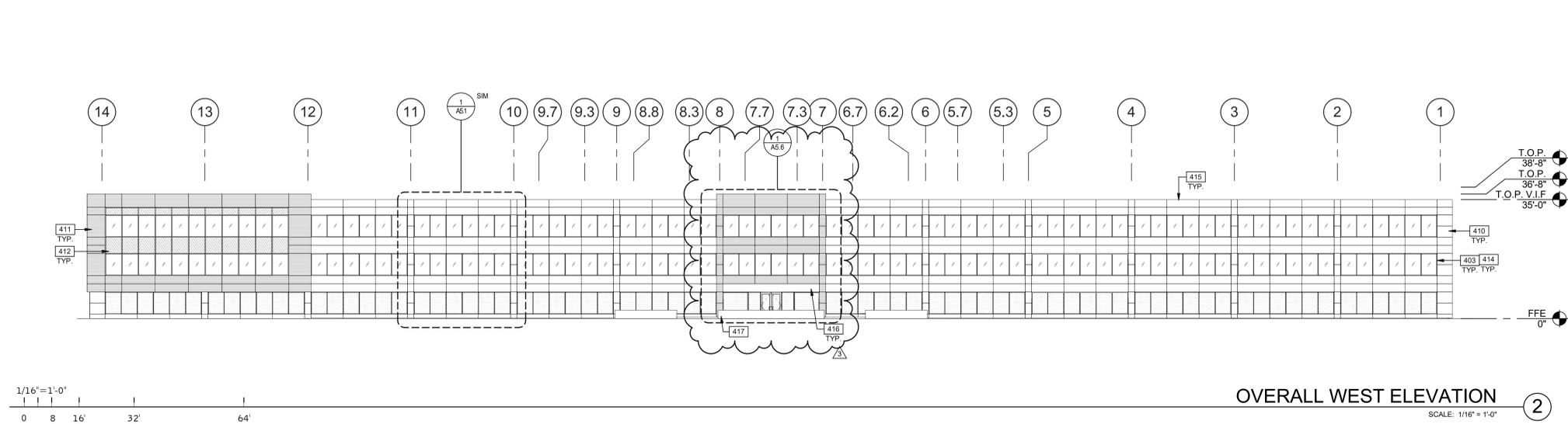
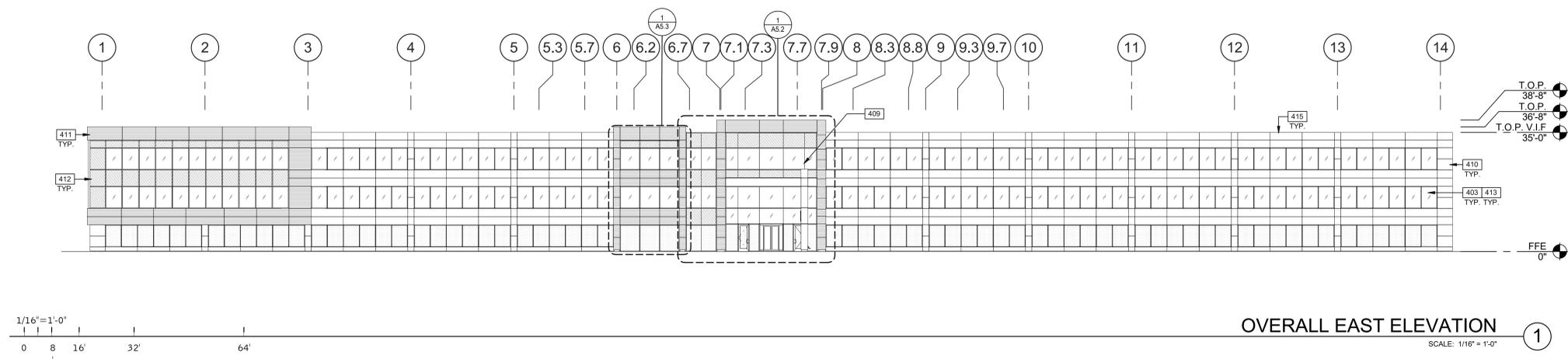
NOTE A: APPROXIMATE LOCATION OF UNDERGROUND UTILITIES PER BOLLINGER, LACH AND ASSOCIATES SITE PLAN UNDER PROJECT NO. 78120, DATE OF LAST REVISION: 06/25/1979.

SOURCE BENCHMARK:
2006 GEODETIC SURVEY MONUMENT
BENCHMARK: YK35002
PID: DK3130
STATION IS LOCATED AT THE SOUTHEAST CORNER OF THE INTERSECTION OF 31ST STREET AND JORIE BOULEVARD TO THE NORTH AND HUNTER TRAILS PARKWAY TO THE SOUTH. STATION IS 115' WEST OF A LIGHT POLE, 53.0' EAST OF THE CENTERLINE OF HUNTER TRAILS PARKWAY, AND 35.0' NORTH OF A FIRE HYDRANT. MONUMENT IS 0.5' ABOVE THE PAVED SURFACE OF 31ST STREET ON A 2.5' DIAMETER CONCRETE TRAFFIC SIGNAL BASE.
ELEVATION = 697.21 NAVD88

SITE BENCHMARK #1:
EASTERLY BONNET BOLT ON FIRE HYDRANT 30' +/- NORTH OF MAIN ENTRANCE AND EAST SIDE OF THE BUILDING.
ELEVATION = 670.26 NAVD88

SITE BENCHMARK #2:
SQUARE CUT ON THE SOUTHWEST CORNER OF THE CONCRETE TRANSFORMER PAD AT THE NORTHWEST CORNER OF THE SITE.
ELEVATION = 671.08 NAVD88

BOUNDARY PER ALTA/ACSM LAND TITLE SURVEY PREPARED BY COMPASS SURVEYING LTD UNDER PROJECT NO. 17,0275, SIGNED: 08/17/2017 AND IS FOR INFORMATIONAL PURPOSES.



NOTES

- SEE SHEET A0.2 FOR GENERAL NOTES
- 403 EXISTING WINDOWS TO BE REMOVED, TYP.
 - 409 METAL PANEL ENTRANCE PYLON.
 - 410 EXISTING CONCRETE FACADE CLADDED WITH DRYVIT.
 - 411 EXISTING CONCRETE FACADE CLADDED WITH EQUITONE.
 - 412 CURTAIN WALL SYSTEM ATTACHED TO EXISTING CONCRETE FACADE.
 - 413 REFLECTIVE DOUBLE PANE GLASS WITH 1" ARGON FILL, LOW E VISION GLASS, TYP.
 - 414 ALUMINUM FRAMED STOREFRONT IN EXISTING WINDOW OPENING.
 - 415 PRE-FINISHED METAL COPING.
 - 416 METAL FRAMED PATIO CANOPY.
 - 417 PATIO WALLS.

LEGENDS

GLASS:

- VISION GLASS
- SPANDEL GLASS
- TEMPERED GLASS

MATERIALS:

- FIBER CEMENT WALL PANEL - EQUITONE, LINEA LT20
- DRYVIT

ALL GLASS USED ON THE ENVELOPE OF THE BUILDING TO BE:
XXXXXX
U FACTOR = 0.28 AND SHGC = 0.28
GLASS WIND LOAD RESISTANCE CALCULATIONS ARE UNDER SEPARATE PERMIT

State of Illinois Design Firm Registration No. 184-00469

WARE MALCOLM
Leading Design for Commercial Real Estate

architecture
planning
graphics
civil engineering

1900 Spring Rd #210
Oak Brook, IL 60523
(630) 575-8000
F 630.218.0064

GRANT A
BRANDENBURG
001-020842

STATE OF ILLINOIS
Professional Engineer

Grant A. Brandenburg

EXP: 11 - 30 - 2018

711 JORIE BUILDING
711 JORIE BOULEVARD, OAK BROOK, IL
60523

EXTERIOR ELEVATIONS

DATE	FOR PERMIT	REMARKS
06/22/2018	FOR CLIENTS' REVIEW	
10/17/2018	FOR PERMIT	
11/02/2018	FOR PERMIT	

PA/PM:	I.G.
DRAWN BY:	M.N.
JOB NO.:	CH17-6115-02

SHEET
A4.1

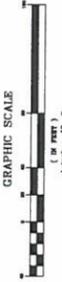
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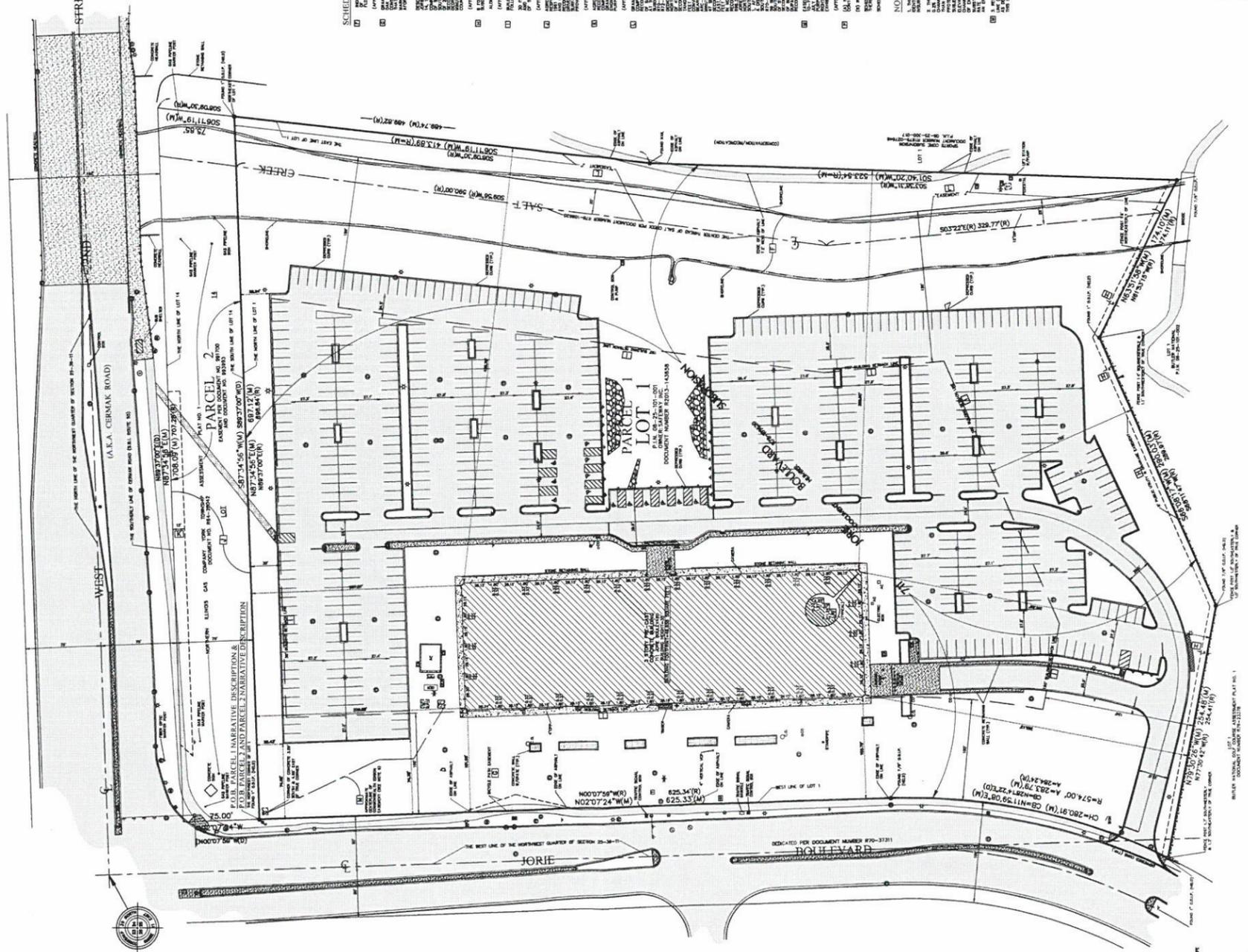
LEGAL DESCRIPTION

ALL OF LOT 14 IN THE 21st JORDAN BRIDGES SUBDIVISION, PHASE 1, A PORTION OF PART OF THE NORTHWEST 1/4 OF SECTION 16, TOWNSHIP 36 NORTH, RANGE 11, EAST OF RANGE 16E, IN DECATUR COUNTY, ILLINOIS, BEING THE PART THEREOF DESCRIBED AS FOLLOWS: ...

ALT/ANSPS LAND TITLE SURVEY



VICINITY MAP



AREA SUMMARY table with columns for TO BE ADJUSTED, ADJUSTED, and TOTAL ADJUSTED values for various areas.

- SCHEDULE B EXCEPTIONS
1. THE SURVEYOR HAS REVIEWED THE RECORDS OF THE COUNTY CLERK AND HAS FOUND NO RECORDS OF ANY INTEREST IN THE SURVEYED LAND...

NOTES
1. THIS SURVEY IS BASED ON THE DATA, INFORMATION AND INSTRUMENTS OF RECORD AS PROVIDED BY THE CLIENT AND THE SURVEYOR HAS NOT CONDUCTED ANY FIELD VERIFICATION OF THE DATA...

- ABBREVIATIONS
A - AREA
B - BOUNDARY
C - CENTERLINE
D - DITCH
E - EASEMENT

- LINE LEGEND
SOLID LINE - BOUNDARY
DASHED LINE - EASEMENT
DOTTED LINE - CENTERLINE

COMPASS SURVEYING LTD logo and address: 2811 GINGERTOWN AVENUE, SUITE 100, ALTON, ILLINOIS 61810

PROJECT: 711 Jorie Boulevard, Oak Brook, Illinois, Esoter Property Group, 101 West Elm Street, Suite 600, Lombard, IL 60148

UTILITY STATEMENT table with columns for DATE, BY, CHECKED BY, and DESCRIPTION.

Q

GENERAL NOTES:

Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1 - AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl.).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Quantity lists are supplied as a convenience. However, Bidders and the Installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility of the Contractor and the Landscape Architect, but for the parties responsible for the taking of such action.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials & ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

All bed lines and tree saucers shall require a hand spaced edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE/TYPE
DECIDUOUS SHADE TREES				
AFJ	5	Acer L'Inferieur	Autumn Blaze Freeman Maple	3.0" BB
AS	2	Acer saccharum	Sugar Maple	3.0" BB
GTS	4	Gleditsia LI 'Skyline'	Skyline Honeylocust	3.0" BB
GD	4	Gymnocladia d 'Espresso-FFS'	Espresso Kentucky Coffeetree	3.0" BB
GDE	3	Gymnocladus d 'Espresso'	Espresso Kentucky Coffeetree	3.0" BB
PCJ	6	Pyrus c 'Glen's Form'	Chancellor Callery Pear	3.0" BB
QR	3	Quercus bicolor	Sawing White Oak	3.0" BB
QI	1	Quercus imbricaria	Shingle Oak	3.0" BB
QM	1	Quercus muehlenbergi	Chinquapin Oak	3.0" BB
QR	1	Quercus rubra	Red Oak	3.0" BB
UM	2	Ulmus 'Morton'	Acrolade Elm	2.5" BB
DECIDUOUS ORNAMENTAL TREES				
ABJ	3	Amelanchier p 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8" BBd
BRF	2	Betula p 'Royal Frost'	Royal Frost Birch	10" BBd
CCJ	10	Crataegus c 'Inermis'	Thornless Cockspur Hawthorn	8" BBd
CW	6	Crataegus phaenopyrum	Washington Hawthorn	8" BBd
MEW	2	Malus 'Donald Wyman'	Donald Wyman Crabapple	8" BBd
MRJ	2	Malus 'Red Jewel'	Royal Rambling Crabapple	2.5" BB
MRJ	2	Malus 'Red Jewel'	Red Jewel Crabapple	8" BBd
PCJ	2	Pyrus c 'Jacquem'	Jack Pear	2.5" BB
DECIDUOUS SHRUBS & SHRUB ROSES				
CAP	18	Cotoneaster acutifolia	Peking Cotoneaster	4" BB
DKR	10	Dierilla r 'G248541'	Red Kodak Dierilla	#3
DSB	16	Dierilla s 'Sudbury'	Butterfly Bush Homescue	#524"
HVS	4	Hydrangea p 'Remy'	Vanilla Strawberry Hydrangea	30"
REK	6	Rosa 'Ballerina'	Easy Elegance Kashmir Rose	#3
RMD	10	Rosa 'Edgier'	Easy Elegance My Girl	#3
SDF	10	Spiraea b 'Gold Flame'	Gold Flame Spiraea	#524"
WCF	2	Wiburnum carolinianum	Fragrant Viburnum	30"
VDS	36	Viburnum d 'Synnesteud'	Chicago Lustre Viburnum	5" BB
VLM	12	Viburnum l 'Molican'	Molican Viburnum	4" BB
EVERGREEN SHRUBS				
JDF	10	Juniperus c 'Dau's Frost'	Dau's Frosted Juniper	#5
JKC	12	Juniperus c 'Nalleys'	Kalleys Compact Juniper	24" #6
TMD	33	Taxus m 'Densiformis'	Dense Yew	24" #6
TMH	25	Taxus m 'Hicksii'	Hicks Yew	36" #8
ORNAMENTAL GRASS				
HAG	26	Hakonechloa m 'Al Gold'	Japanese Forest Grass	#1
PHM	18	Panicum v 'Heavy Metal'	Heavy Metal Switch Grass	#1
PNW	5	Panicum v 'Northwind'	Northwind Switch Grass	#1
SSC	20	Schizachyrium s 'Carouse'	Carouse Little Bluestem	#1
SA	48	Setaria autumnalis	Autumn Moor Grass	#1
PERENNIALS				
HCA	8	Hemerocallis 'Chicago Apache'	Chicago Apache Daylily	#1
HGB	8	Hemerocallis 'Gong Bananas'	Gong Bananas Daylily	#1
HSDO	50	Hemerocallis 'Stella-de-Oro'	Stella-de-Oro Daylily	#1
HSW	8	Hemerocallis 'Summer Wine'	Summer Wine Daylily	#1
HSP	14	Heuchera s 'Georgia Peach'	Georgia Peach Alumroot	#1
HAM	10	Hosta 'August Moon'	August Moon Hosta	#1
HSS	14	Hosta 'Gold Standard'	Gold Standard Hosta	#3
HSS	16	Hosta 'Sum & Substance'	Sum & Substance Hosta	#3
MRW	6	Moranda d 'Raspberry Wine'	Raspberry Wine Beebalm	#1
HKC	42	Nepeta x l 'N' Cat'	Kit Cat Catmint	#1

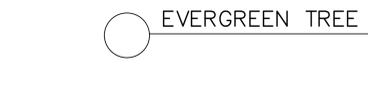
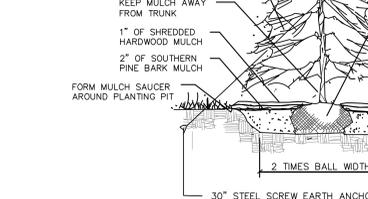
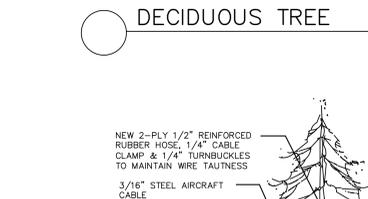
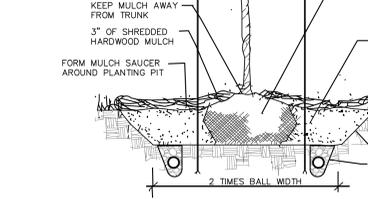
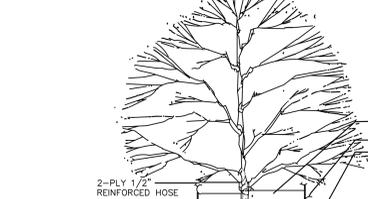
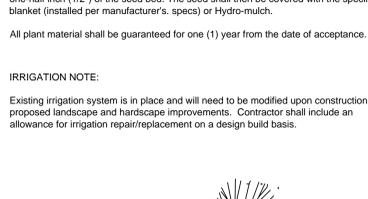
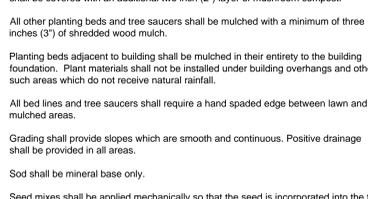
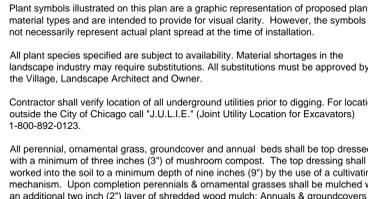
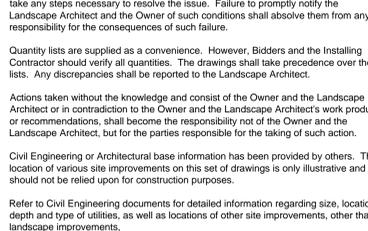
QTY	ITEM	DESCRIPTION
115 LF	Seat Wall	Lines Dimensional Stone, By Unilock Color: Sandalwood, w/ Ledgestone coping, Color: Buff
53 LF	Steps	Ledgestone Steps, By Unilock Color: Buff
118 LF	Channel Drain	5" Shallow Profile Channel Drain, By NDS w/ NDS #414 Grate, Color: Light Grey
TBD LF	Drainage Tubing	4" Corrugated Plastic Drainage Tubing
TBD CY	Native Seed w/ Straw Blanket	Economy Prairie Seed Mix
TBD CY	Native Seed w/ Straw Blanket	Kentucky Bluegrass Blend w/ Perennial Ryegrass
TBD CY	Sod	Mineral Base Sod
30 CY	Mulch	Kentucky Bluegrass Blend (mineral base)
5 CY	Mulch	Shredded Hardwood Bark
TBD SF	W/ Degenerated Granite over Fabric (2" Depth)	Compost (Yard Waste or Mushroom)
915 SF	Washed Limestone over Fabric	
TBD	Payment for these items will be based upon the Unit Price provided by the Contractor and field measurements performed upon completion	

QTY	ITEM	DESCRIPTION
115 LF	Seat Wall	Lines Dimensional Stone, By Unilock Color: Sandalwood, w/ Ledgestone coping, Color: Buff
53 LF	Steps	Ledgestone Steps, By Unilock Color: Buff
118 LF	Channel Drain	5" Shallow Profile Channel Drain, By NDS w/ NDS #414 Grate, Color: Light Grey
TBD LF	Drainage Tubing	4" Corrugated Plastic Drainage Tubing
TBD CY	Native Seed w/ Straw Blanket	Economy Prairie Seed Mix
TBD CY	Native Seed w/ Straw Blanket	Kentucky Bluegrass Blend w/ Perennial Ryegrass
TBD CY	Sod	Mineral Base Sod
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TBD LF	Drainage Tubing	4" Corrugated Plastic Drainage Tubing
TBD CY	Native Seed w/ Straw Blanket	Economy Prairie Seed Mix
TBD CY	Native Seed w/ Straw Blanket	Kentucky Bluegrass Blend w/ Perennial Ryegrass
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PLANT LIST SUB-TOTAL



NOTE: STAKING OF DECIDUOUS TREES NOT REQUIRED UNLESS TREE WILL NOT REMAIN PLUMB. TRUNK OF TREE SHALL BE PROTECTED W/ TREE WRAP. SECURE WRAP W/ TWINE @ TOP & REMOVE THE NEXT SPRING. DO NOT STAKE INTO ROOTBALL.

UNREATED BURLAP NEED NOT BE REMOVED, HOWEVER ALL TWINE AROUND THE TRUNK SHALL BE REMOVED. TREATED BURLAP & PLASTIC WRAP SHALL BE REMOVED OR ROLLED DOWN AROUND THE ROOTBALL.

3" OF SHREDDED HARDWOOD MULCH

PERENNIALS & ORN. GRASSES SHALL BE TOPDRESSED WITH 2" OF SHREDDED HARDWOOD MULCH

GROUNDCOVERS & ANNUALS SHALL BE TOPDRESSED WITH 2" OF MUSHROOM COMPOST

APPLY 18-6-12 OSMOCOTE (270 DAY) TIMED RELEASED FERTILIZER TO GROUNDCOVERS & PERENNIAL BEDS & 14-14-14 OSMOCOTE (120 DAY) TIME RELEASED FERTILIZER TO ANNUAL BEDS PER MFRS. RECOMMENDATIONS.

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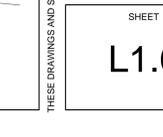
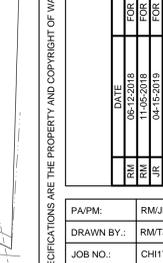
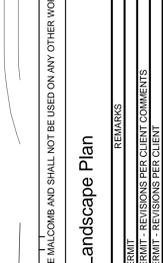
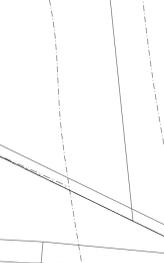
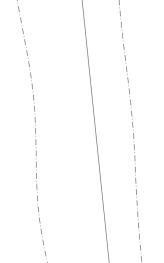
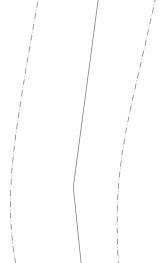
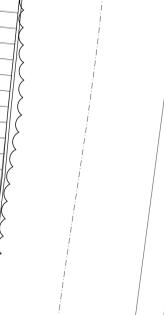
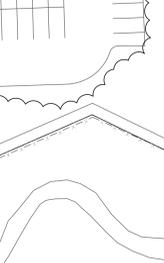
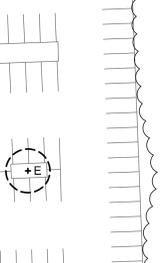
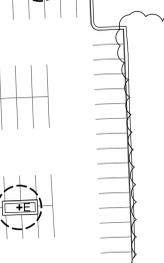
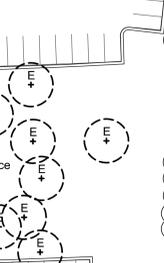
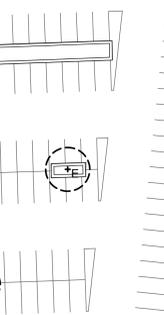
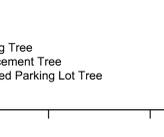
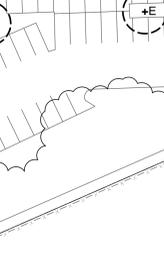
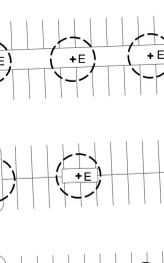
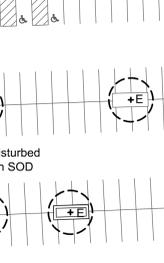
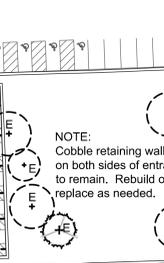
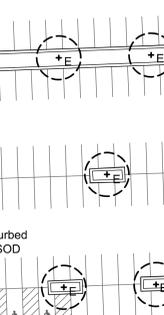
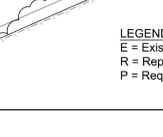
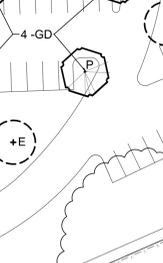
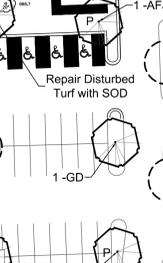
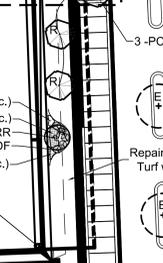
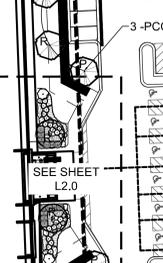
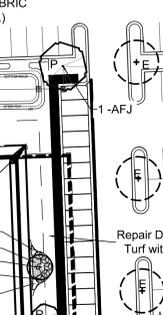
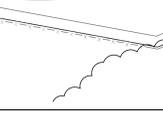
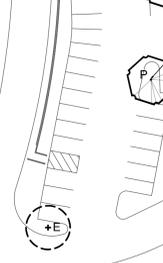
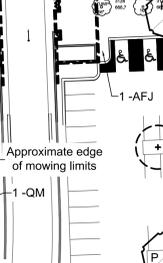
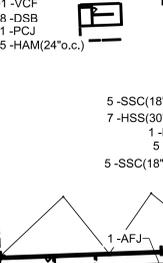
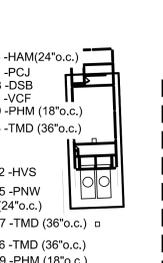
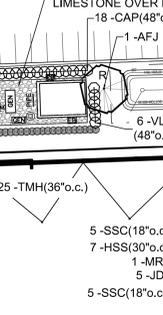
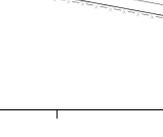
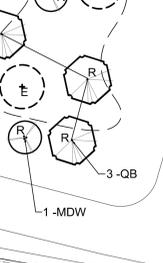
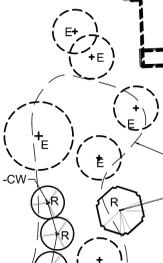
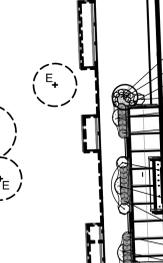
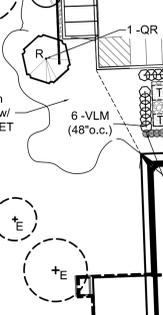
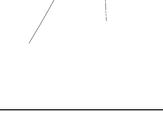
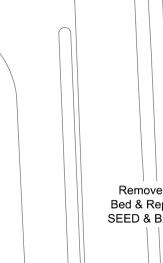
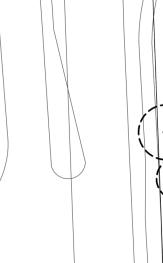
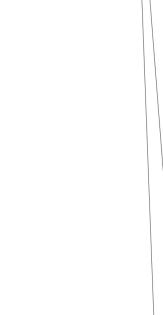
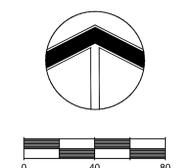
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SLEEVE, CUT, OR SEPARATE EXTERIOR ROOTS ON ROOT-BOUND CONTAINER PLANTS TO PROMOTE ROOT GROWTH.



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711 JORIE BOULEVARD, OAK BROOK, IL
60523

Landscape Plan

DATE	REVISIONS
05-12-2010	FOR PERMIT - REVISIONS PER CLIENT COMMENTS
05-12-2010	FOR PERMIT - REVISIONS PER CLIENT COMMENTS
04-17-2010	FOR PERMIT - REVISIONS PER VILLAGE REVIEW
05-1-2010	FOR PERMIT - REVISIONS PER VILLAGE REVIEW

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DATE: 05-1-2010
FOR PERMIT - REVISIONS PER VILLAGE REVIEW

PA/PM: RM/JR
DRAWN BY: RMT/JP
JOB NO.: CH17-6115-02

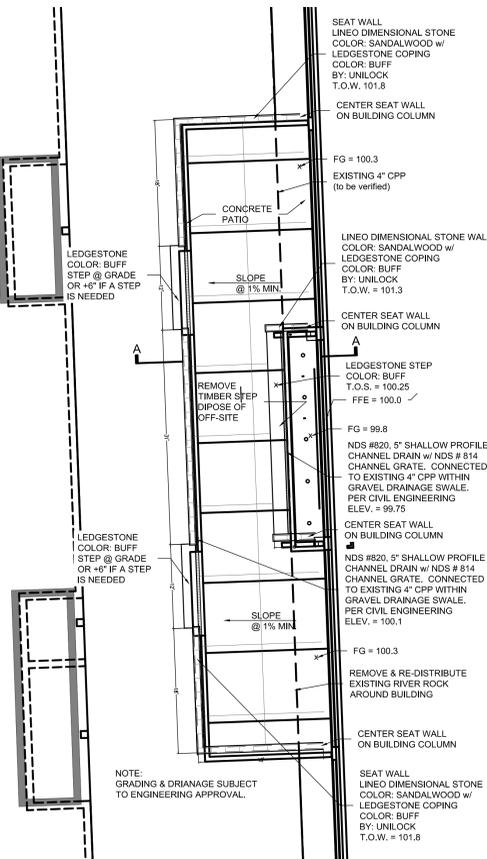
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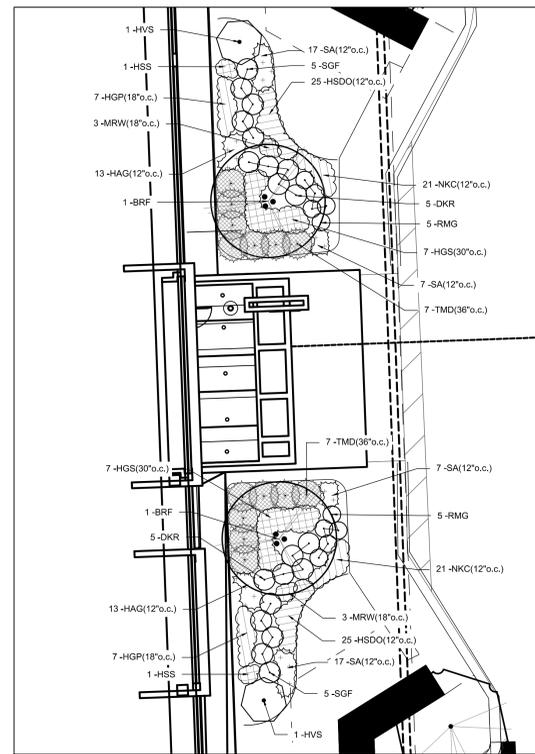
SEAT WALL

Lineo Dimensional Stone
By: Unilock; Color: Sandalwood



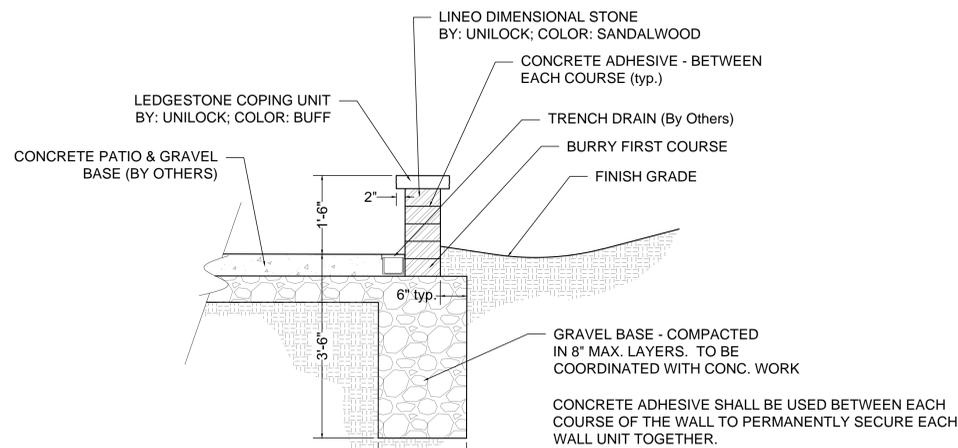
PATIO CONSTRUCTION PLAN

1" = 10'



LANDSCAPE PLAN - ENTRANCE

1" = 10'-0"



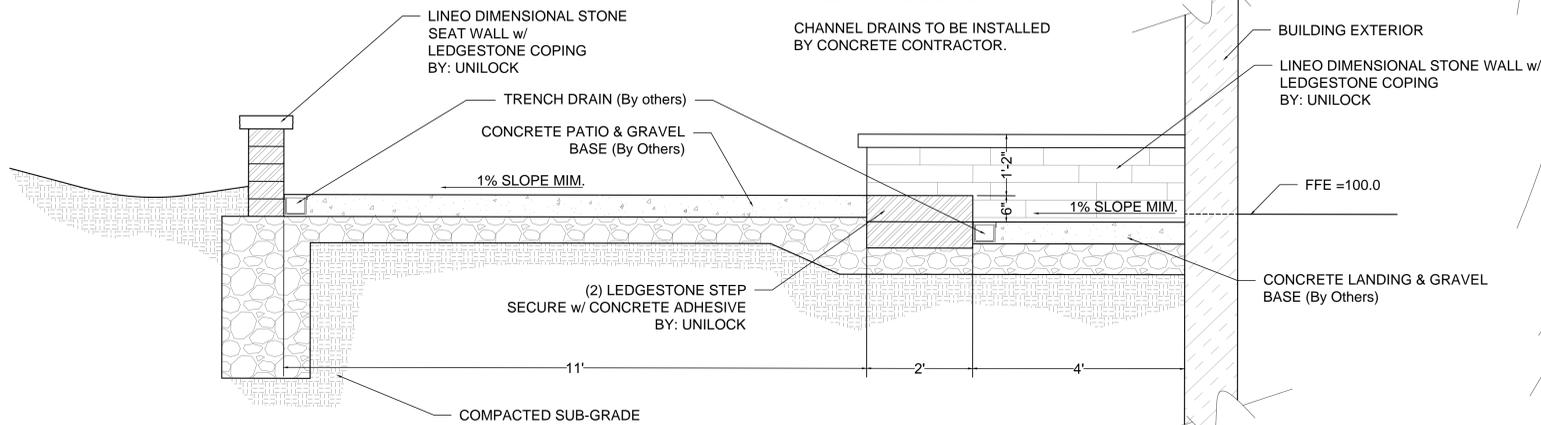
DETAIL - SEAT WALL

3/4" = 1'-0"

NOTES:

COORDINATED GRAVEL BASE
PLACEMENT w/ CONC. WORK.

CHANNEL DRAINS TO BE INSTALLED
BY CONCRETE CONTRACTOR.



SECTION A - A

3/4" = 1'-0"

TREE REMOVAL PLAN

PROPOSED TREE REMOVALS
DECIDUOUS SHADE TREES - 13
UNDERSTORY TREES - 14

PROPOSED TREE REPLACEMENTS
13 - 3.0" cldr. DECIDUOUS SHADE TREES
14 - 2.5" cldr. or 8' DEC. ORNAMENTAL TREES

1" = 40'



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PA/PM: RMJR
DRAWN BY: RMTJP
JOB NO.: CH117-6115-02

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PLANT MATERIAL

PART 1 - GENERAL

- 1.1 SCOPE OF WORK
The work includes furnishing of all materials, and the performance of all operation in connection with the planting of deciduous & evergreen trees, deciduous & evergreen shrubs, shrub roses, perennials, ornamental grasses, groundcovers, bulbs (if any) and annual flowers (if any) in strict conformance with the project specifications and applicable drawings which are subject to the terms and conditions of the Contract.
1.2 GENERAL REQUIREMENTS
All plant material shall comply with the State of ILLINOIS and FEDERAL laws with respect to inspection for plant diseases and insect infestation. An inspection certificate required by law to this effect shall accompany each shipment. The Landscape Architect reserves the right to inspect the plant material at the place of growth but such inspection shall not preclude the right of rejection at the site.
1.3 APPLICABLE STANDARDS
A. American National Standards for Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 42nd Street, New York, N.Y. 10036.
B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery & Landscape Association, 1000 Vermont Avenue NW, Suite 300, Washington, D.C. 20005.
C. Hortus Third, The Staff of the L.J. Bailey Hortorium, 1970, Macmillan Publishing Co., New York.
D. All standards shall include the latest additions and amendments as of the date of advertisement for bids.

PART 2 - MATERIALS

- 2.1 GENERAL
The Landscape Architect reserves the right to tag or inspect plants at the nursery but such inspection shall not preclude the right of rejection at the site. Contractor shall furnish and install all plants as shown on the drawing and in the quantities as actually designated on the drawings. The quantities shown on the plant list are indicated for convenience purposes only.
2.2 NOMENCLATURE
The names of the plants indicated on the drawings conform generally with those accepted in the nursery trade.
2.3 QUALITY AND SIZE
Plants shall have a habit of growth that is normal for the species and shall be sound, healthy, vigorous, and free from insect pests, their eggs or larvae, plant diseases, and injuries. All plants shall be nursery grown under climatic conditions similar to those which exist in the locality of the site for at least two (2) years and equal or exceed the measurements specified in the plant list. They shall be measured before pruning with branches in formal position. All necessary pruning shall be performed only at the time of planting. Trees will not be accepted which have their leaders cut or which have their leaders damaged so that cutting is necessary. Plants larger in size than specified may be used with the approval of the Landscape Architect but the size of larger plants will make no change in the contract price. Requirements for the measurement, branching, quality, baling, and burripping of plants on the plant list shall follow the Code of Standards (Z60.1-most current edition) by the AMERICAN NURSERY & LANDSCAPE ASSOCIATION, formerly known as the AMERICAN ASSOCIATION OF NURSERMEN, INC. All plant material with shriveled dry roots or which does not comply with the specifications will be rejected. All shrubs shall be at least twice transplanted and must have a fully developed fibrous root system typical of the stated species. All shrubs must be freshly dug immediately before shipping unless they are containerized. Pre-dug, heeled-in plants may be considered only in special cases involving planting during the hot months between the spring and fall planting seasons. Use of such material will be allowed only upon the approval of the Landscape Architect and is subject to his inspection prior to said approval.
2.4 DELIVERIES
The Contractor shall take all precautions that are demanded by good trade practice to insure arrival of the plant material at the stated delivery point in good condition and without injury of any nature. Plants shall be covered properly to prevent drying, transit disease, or injury.
2.5 TEMPORARY STORAGE
Insofar as it is possible, plant material shall be planted on the day of delivery. In the event this is not possible, the Contractor shall protect the unplanted stock from sun and drying winds at all times. All balled and burlapped plants shall be shaded from the sun, have their ball set off the ground and heeled in with sawdust, peat, soil or other moisture-holding material and shall be kept moist. Plants should not remain unplanted for longer than three (3) days if in leaf. On-site storage shall be only in area(s) designated by the Owner.
2.6 SUBSTITUTIONS
Substitutions may be permitted only upon submission of written proof that the specified plant is not obtainable locally. Such substitution may be made only upon authorization by the Landscape Architect.
2.7 SELECTION
All plants shall be obtained from nurseries licensed by the State of Illinois and approved by the Landscape Architect. The Landscape Architect reserves the right to accompany the Contractor to the nurseries for the purpose of selecting (tagging) material. Plant sources located outside the State of Illinois must be approved by the Landscape Architect.
2.8 TOPSOIL
Topsoil for required filling and spreading shall be obtained from on-site stock pile(s) generated from site stripping. In the event that the quantity of stock piled topsoil is insufficient then topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.
The soil, to be acceptable topsoil, shall meet the following criteria:
A. ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent.
B. pH: No lower than 5.0 nor higher than 8.0.
C. TEXTURE: No more than 25 percent clay.
D. SOLUBLE SALT: No more than 1000 ppm
E. CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth damage.
The Contractor shall provide a soil analysis report submitted containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and Bio assay.
2.9 MULCH
Mulch shall consist of the following:
A. MUSHROOM COMPOST
Mushroom compost shall be composed of well-rotted cattle or stable manure with an admixture of 15-30% topsoil and shall have been used for the commercial growing of at least one (1) crop of mushrooms.
B. SHREDDED HARDWOOD BARK (general mulching)
Shredded hardwood bark shall consist of finely shredded hardwood bark, free of sticks and leaves.
C. SOUTHERN PINE BARK (color mulching)
Pine bark shall be horticultural-grade milled pine bark with 80% by volume sized between 0.1 and 15.0 mm. Pine bark shall be composted sufficiently to breakdown all woody materials and shall be screened. The pH range shall be between 4.0 and 7.0.
2.10 FERTILIZER & NUTRIENTS
Fertilizer shall be commercial fertilizer which shall be a complete fertilizer with the following approximate analysis:
A. Shrubs
Woodace (14-3-3) slow-release briquettes or acceptable equivalent approved by Landscape Architect.
B. Roses
1. Woodace (14-3-3) slow-release briquettes
2. Superphite liquid or acceptable equivalent approved by Landscape Architect.
C. Perennials, Groundcovers, Ornamental Grasses & Vines
Osmocote (18-6-12) 8-9 month controlled release, or acceptable equivalent approved by the Landscape Architect.
D. Annual Flowers
Osmocote (14-14-14) 3-4 month controlled release or acceptable equivalent approved by the Landscape Architect.
E. Bulbs
Holland Bulb Booster (9-9-6) or acceptable equivalent approved by the Landscape Architect.
F. Deciduous & Evergreen Trees
No fertilizer required.
2.11 TREE WRAPPING MATERIAL
A. Wrap shall be - Breathable synthetic fabric tree wrap. While in color, delivered in 75 mm (3 in.) wide rolls. Specifically manufactured for tree wrapping. Tree wrap shall be "Gardall" Fabric Tree Wrap as manufactured by the Dewit Company, Inc., Skieson, MO, or approved equal. Submit manufacture literature for approval.
B. Tape for securing the wrap shall be bio-degradable tape suitable for nursery use and which is expected to degrade in sunlight in less than two (2) years after installation.
2.12 WATER
Potable water shall be supplied by the Owner at no cost to the Contractor by way of an irrigation system, quick coupler system, hose bibs, hydrant meter or a designated fill-up source on site.

TURF GRASS

PART 1 - GENERAL

- 1.1 SCOPE OF WORK
The work includes finish grading, furnishing fertilizer, seed and/or sod as specified and performance of all operations in connection with seeding and/or sodding in strict accordance with the applicable Drawings and subject to the terms and conditions of the Contract.
1.2 EQUIPMENT
The Contractor shall provide and maintain equipment suitable for the execution and completion of the work specified in accordance with (DOT) Standard Specifications. All equipment shall be operated by personnel trained in the operation of such equipment.
PART 2 - PRODUCTS
2.1 TOPSOIL
Topsoil for planting operations shall be obtained from an on-site stockpile generated from site stripping. In the event that none is available, needed topsoil shall be imported from an off-site source. All imported topsoil, used for any portion of the work, shall be fertile, friable, natural loam containing a liberal amount of humus. It shall be relatively free from weeds, large roots, plants, sticks, stones larger than one (1) inch, waste, debris or other extraneous matter. The installing Contractor shall be responsible for rock picking and/or debris removal as needed to meet this specification.
The soil, to be acceptable topsoil, shall meet the following criteria:
1. ORGANIC MATTER: Not less than 1.5 percent no more than 10.0 percent.
2. pH: No lower than 5.0 nor higher than 8.0.
3. TEXTURE: No more than 25 percent clay.
4. SOLUBLE SALT: No more than 1000 ppm.
5. CHEMICAL ACTIVITY: The topsoil (on-site & imported) shall be free from any toxins or chemical residue which could result in any form of plant growth damage.
The Contractor shall provide a soil analysis report submitted containing test results and soil scientist recommendations based on a minimum of one (1) sample taken from each proposed imported topsoil stock pile. The testing shall cover macro nutrients and pH, soluble salts, organic content/mechanical analysis and Bio assay.
2.2 COMMERCIAL FERTILIZER AND DELIVERY
Fertilizer shall be delivered to the site in unopened, original containers, each bearing name and address of the manufacturer, name brand, or trademark, and manufacturer's guaranteed analysis. Any fertilizer which becomes caked or otherwise damaged, making it unsuitable to use, will not be accepted. Fertilizer shall not have been exposed to weather prior to delivery on the site and after delivery unit used. It shall be completely protected at all times and shall not be stored in direct contact with the ground.
A. FERTILIZER STRENGTH
The fertilizer shall be a complete fertilizer containing a minimum basis percentage by weight of the following:
1. PRIOR TO SEEDING AND/OR SODDING 6-24-24
Nitrogen..... 6%
Phosphorous..... 24%
Potash..... 24%
2. AFTER SEEDING AND/OR SODDING 18-5-9
Nitrogen..... 18%
Phosphorous..... 5%
Potash..... 9%
a) One-quarter of the nitrogen shall be in the form of nitrates, one-quarter in the form of ammonia salts, and one-half in the form of organic nitrogen.
b) Available phosphoric acid shall be derived from super-phosphate having a minimum guaranteed analysis of 20% of available phosphate.
c) The potash shall be in the form of sulphate of potash.
The balance of the fertilizer shall be made up of materials usually present in such a product. It shall be free from dust, sticks, sand, stone, or other debris.
2.3 GRASS SEED (if specified)
Grass seed shall be released seed of the previous season's seed crops. All seed shall meet requirements established by the State and Federal Seed and Weed Control Laws. The grass seed mixture shall be composed of the following grass seeds mixed in proportions by weight and shall meet or exceed the minimum percentages of purity and germination as indicated.
PROPORTION BY WEIGHT TYPE OF GRASS
1. CONVENTIONAL TURF GRASS MIX (if specified)
60% KENTUCKY BLUEGRASS (blend of 3 cultivars)
30% PERENNIAL RYEGRASS (blend of 2 cultivars)
10% CREEPING RED FESCUE
(Apply at 7 lbs./1,000 S.F. for mechanical seeding)
2. SALT TOLERANT MIX (if specified)
40% FULL'S ALKALI GRASS (PUCCINELLA DISTANS)
30% CREEPING RED FESCUE
20% KENTUCKY BLUEGRASS
10% PERENNIAL RYEGRASS
(Apply at 5 lbs./1,000 S.F. for mechanical seeding)
The percentage of hard seed included as a part of the germination percentage of any lot of seed, shall not exceed twenty. Kentucky bluegrass seed shall weigh a minimum of 28 pounds to the nearest measured bushel. Weed seed content shall not exceed 0.25%.
1. PACKING AND MARKETING
All seeds shall be delivered in suitable bags in accordance with standard commercial practice. Each bag shall be tagged or labeled as required by the law of the STATE OF ILLINOIS. The vendor's name shall show on or be attached to each bag together with a statement signed by the vendor showing: a) the kind of seed contained, b) the percentage of purity and germination, c) the percentage of hard seed, if any, d) a statement conforming to the laws of the STATE OF ILLINOIS hereinbefore mentioned showing percentage of weed seeds, if any. Seed which has become wet, moldy, or otherwise damaged will be rejected.
2.4 EROSION CONTROL BLANKET
1. STRAW BLANKET (if specified)
a. S-75 Straw Blanket (North American Green)
b. AEC Premier Straw Blanket (American Excelsior Company)
c. or equivalent
2. STRAW/COCONUT BLANKET (if specified)
a. SC-150 Straw/Coconut Blanket (North American Green)
b. AEC Premier Straw/Coconut Blanket (American Excelsior Company)
c. or equivalent
2.5 HYDROMULCH (if specified)
SoilCover Hydraulic Wood Mulch by Profile distributed by ERO-TEX (866)437-6639
2.6 SOD (if specified)
Sod shall comply with State and Federal laws with respect to inspection for plant diseases and insect infestation. It shall be fresh cut, live, nursery grown sod, not less than one and one half (1 1/2) inches thick having well-matted roots. The root zone shall be of good, fertile, natural mineral soil free from stones and debris. Peat sod will not be acceptable. The turf shall contain no bent or quack grass nor any other noxious weed growth. It shall be of firm tough texture having a compact growth of grass. The sod sections shall be standard in size (24 inches wide x 3 feet in length) and each section shall be strong enough to support its own weight and retain its size and shape when suspended vertically from a firm grasp on the upper ten (10%) percent of the section.
Before being cut and fitted, the sod shall have been mowed at least twice with a lawn mower and the final mowing not more than seven days before the sod is cut. Sod which is not placed within 48 hours of cutting shall not be used without the approval of the Owner and/or Landscape Architect.

The Owner and/or Landscape Architect, reserves the right to inspect the sod at the source before cutting and areas that fail to meet with his approval shall not be cut for the purpose of supplying material under the contract. The Owner and/or Landscape Architect shall be permitted to take such samples as he may select. All sod shall be fresh and green when placed. Any sod that is dried out, burned, inferior in quality to said samples, or in any way failing to meet the requirements of these specifications will be rejected and the Contractor shall immediately remove such rejected material from the premises of the project and supply suitable material in its place.

- 1. BLUEGRASS SOD shall be a blend of at least three (3) cultivars of Kentucky bluegrass grown on a mineral base.
2. SALT SOD (if specified) shall be a blend of Kentucky Bluegrass, Full's Alkali Grass (Puccinella Distans), Perennial Ryegrass and other types as approved by the Landscape Architect grown on a mineral base.
2.7 WATER
The Owner shall provide at no cost, sufficient water for the Contractor to maintain plant materials and seeded and sodded areas in accordance with the requirements of the applicable technical specifications. Potable water shall be supplied by the Owner by way of a permanent underground irrigation system, quick coupler system, hose bibs, fire hydrants or a designated fill-up source for mobile tanks. When water is provided by way of fire hydrants, it shall be the Contractor's responsibility to be completely familiar with all local ordinances concerning the use of this water source. If a meter is required, it is the Contractor's responsibility to obtain, store and return the meter. All fees incurred by the Contractor in obtaining the meter and utilizing the water supply will be reimbursed to him by the Owner.

In the event that the on-site water supply is curtailed or terminated by the Owner or by ordinance during the period the Contract is in effect, or that there is no on-site sources of water, the Contractor shall supply water from off-site in sufficient quantities to complete the job. Compensation for this additional item will be in accordance with a solicited price quote. If authorization to supply off-site water is not given to the Contractor by the Owner, when the Owner is unable to supply the water in sufficient quantities, the Contractor shall not be held responsible for damage to new plantings (plant materials & sod) or failure of seed to germinate and grow caused a direct result of an inadequate water supply.

PART 3 - EXECUTION

- 3.1 SEED - The accepted seasons for sowing seed in lawn areas shall be defined as follows:
PLANTING SEASONS SPRING FALL
Turf grass April 1 to May 31 Aug. 15 to Sept. 30
* or as soon as the soil is free of frost and in a workable condition.
Seeding during other time periods shall require the approval of the Owner and/or Landscape Architect. All sowing of seed shall be completed after all trees and shrubs have been installed, if any.
3.2 SOD - The accepted seasons for laying sod shall be as follows:
1. SPRING SODDING shall be performed from the time the soil becomes workable and unfrozen sod becomes available to June 15.
2. FALL SODDING shall be performed from August 15 to October 31.
Sodding during the summer season, defined as June 16 to August 14, will be acceptable if the area is served by an operational irrigation system. Sodding after November 1 shall be considered unseasonable and will require the approval of the Landscape Architect or Owner.
3.3 REQUIRED MAINTENANCE
The Contractor shall be responsible for maintaining all newly seeded and sodded areas until such a time as these areas are granted acceptance by the Owner and/or Landscape Architect. Maintenance during this time period shall consist of watering, mowing, fertilization and herbicide application, as well as any other horticultural practices necessary to establish an acceptable stand of grass.
A. WATERING
1. The Contractor shall water all newly seeded areas once immediately upon completion. Additional watering shall be performed as needed in the absence of adequate rainfall. All water should be applied as a spray or dispersion to prevent run-off or damage. The Contractor shall be responsible for monitoring the effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids where alternate watering prices shall be quoted. If the work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided.
2. The Contractor shall water all newly installed sod immediately. The Contractor shall remain responsible for watering through three (3) applications. If the Owner supplies an in-ground irrigation system included in the scope of these improvements, the Contractor shall be responsible for monitoring the effectiveness of the system and shall report any problems with the system to the Owner immediately, followed up in writing. If the Owner does not provide an irrigation system, then additional watering shall be performed in accordance with the Supplemental Bids where alternate watering prices shall be quoted. If the work item is not included as part of the original Contract, it must be authorized. Compensation shall be in accordance with the Supplemental Bid Prices. If the Owner fails to supply water or authorize supplemental watering the Contractor's warranty for providing an established stand of turf will be voided. Watering after the required three (3) waterings shall be the responsibility of the Owner, or in accordance with authorized supplemental watering.
B. MOWING
1. The Contractor shall mow all seeded areas three (3) times. The three (3) mowings shall be performed once the turf has reached a height of 3 to 4 inches. At no time should more than 1/3 of the leaf blade be removed by any mowing.
2. The Contractor shall mow all sodded areas once. The one (1) mowing shall be performed once the turf has reached a height of three inches (3"). At no time should more than 1/3 of the leaf blade be removed by any mowing.
C. FERTILIZATION
1. Seeded areas after completion of the second required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 lbs/ac.) to all turf areas using a mechanical spreader and by making two (2) passes at right angles to each other.
2. Sodded areas after completion of the required mowing, the Contractor shall apply an 18-5-9 commercial fertilizer at the rate of 15 pounds per 1,000 square feet (650 lbs/ac.) to all turf areas using a mechanical spreader and by making two passes at right angles to each other.
D. HERBICIDE
The Contractor shall be responsible for one (1) application of a weed control product no sooner than the second mowing with the areas seeded. The product shall reflect the specific weed problem which may exist.
3.4 ACCEPTANCE
Acceptance of seeded areas will be determined by the Owner and/or Landscape Architect. Acceptance shall be granted upon conformance with the following:
1. Grass shall display a reasonably uniform distribution of grass plants.
2. Grass shall display vigorous growth and be green and healthy in appearance.
3. Grass shall have received the required mowings, fertilization and herbicide application.
The Contractor shall not be held liable for damage incurred to the seed areas caused by deicing compounds, toxic substances, fertilizers, pesticides and other materials not specified or not applied by him or under his supervision, nor those damages caused by vandalism or acts of nature.
3.5 GUARANTEE
The Contractor shall guarantee the provision of a green, healthy relatively weed free turf at the time of acceptance.

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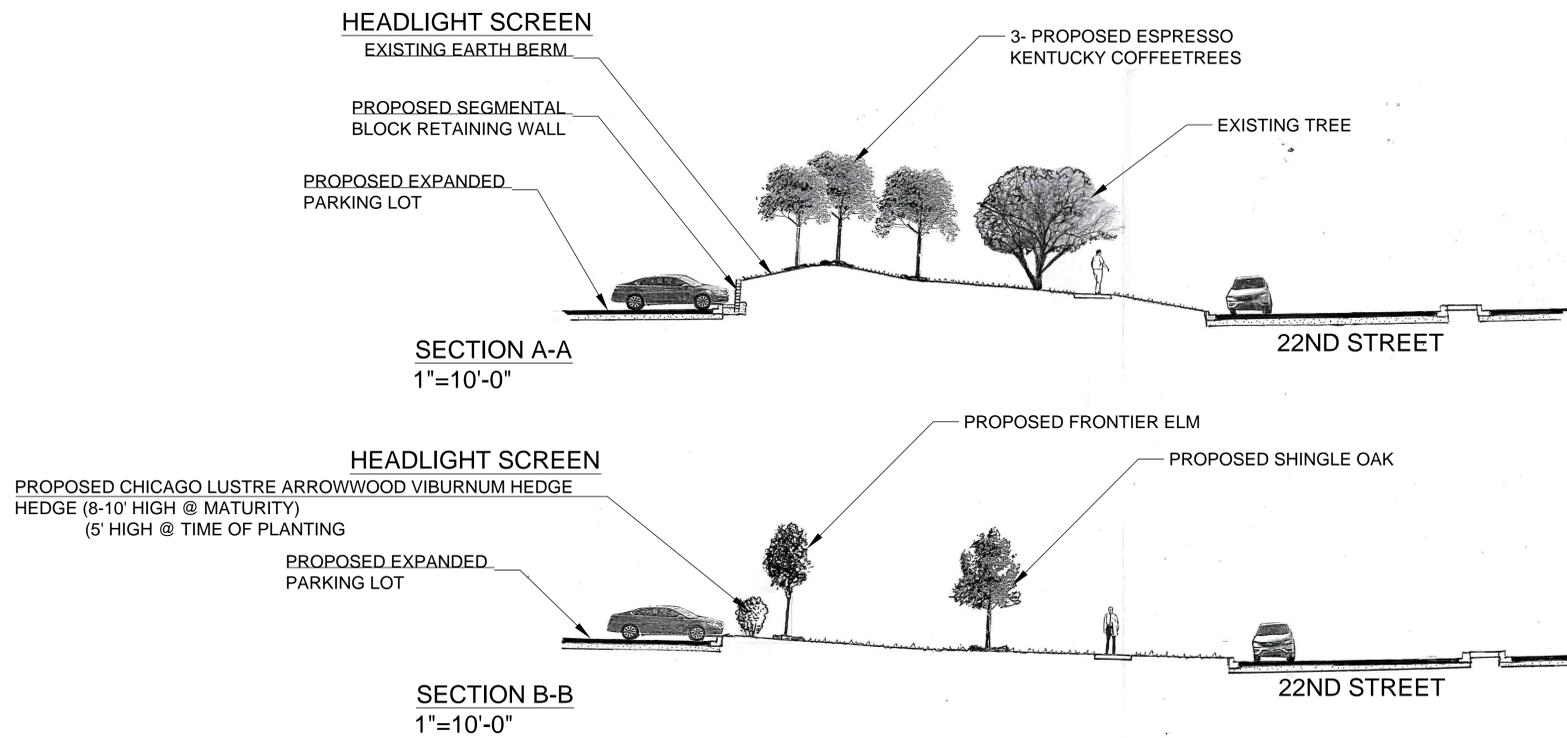
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05-12-2018	FOR PERMIT
11-05-2018	FOR PERMIT - REVISIONS PER CLIENT COMMENTS
04-17-2019	FOR PERMIT - REVISIONS PER VILLAGE REVIEW
05-1-2019	FOR PERMIT - REVISIONS PER VILLAGE REVIEW

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